

Commission Agenda Item

MEETING DATE: September 23, 2013

SUBJECT: A request by Causseaux, Hewett, & Walpole, Inc., agent for Nanotherapeutics, Inc., applicant, and ADC Development & Investment Group, LLC and Spear Copeland, LLC, property owners, for consideration of a Site Plan for a proposed ±165,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements on a ±28.07 acre subject property, located west of NW 126th Terrace and south of County Road 2054 (Rachael Boulevard) within Copeland Industrial Park; Tax Parcel No. 03927-000-011 and a portion of Tax Parcel No. 03927-000-000; FLUM: Industrial; Zoning: Light and Warehouse Industrial (ILW.) This is a quasi-judicial hearing.

AGENDA SECTION: Public Hearings and Ordinances

DEPARTMENT: Planning & Community Development

PREPARED BY: Justin Tabor, AICP, Principal Planner

RECOMMENDED ACTION:

Approve the Site Plan, subject to the seven (7) conditions provided in Exhibit "A" of the Staff Report dated September 10, 2013,

upon making the following motion:

Based upon the competent substantial evidence presented at this hearing, the presentation before this Commission, and Staff's recommendation, this Commission finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves the Site Plan, subject to the seven conditions provided in Exhibit "A" of the Staff Report dated September 10, 2013.

Summary

The proposed site plan is a request by Causseaux, Hewett, & Walpole, Inc., agent for Nanotherapeutics, Inc., applicant, ADC Development and Investment Group, LLC, and Spear Copeland, LLC, property owners, for a proposed ±165,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements.

The subject property is ±28.07 acres in area and is located within Copeland Park, west of NW 126th Terrace and south of County Road 2054 (Rachael Boulevard.) Access to the subject property is provided by connection to an existing private road which connects to NW 126th Terrace. Existing development within Copeland Industrial Park is located to the north.

The proposed development will convey stormwater runoff to an existing stormwater basin located east of the subject property. The existing stormwater basin was designed to accommodate the development of the subject property, and the proposed development will comply with the conditions of the approved Environmental Resource Permit issued by Suwannee River Water Management District.

The proposed facility will manufacture and produce vaccines, and will include laboratories, offices, and other supporting uses. The proposed use is classified as "Light Manufacturing" which is defined in Article 10 of the City's Land Development Regulations (LDRs) as follows: "The mechanical transformation of predominantly previously prepared materials into new products, including assembly of component parts and the creation of products for sale to the wholesale or retail markets or directly to consumers. Such uses are wholly confined within an enclosed building, do not include processing of hazardous gases and chemicals, and do not emit noxious noise, smoke, vapors, fumes, dust, glare, odor or vibration. Examples include, but are not limited to: production or repair of small machines or electronic parts and equipment; woodworking and cabinet building; publishing and lithography; computer design and development; research, development, testing facilities and laboratories; apparel production; sign making; assembly of prefabricated parts;

manufacture of electric, electronic, or optical instruments or devices; manufacture and assembly of artificial limbs, dentures, hearing aids and surgical instruments; manufacture, processing, and packing of food products, cosmetics; and manufacturing of components, jewelry, clothing, trimming decorations and any similar item.”

Section 2.4.9(D) of the City’s LDRs establishes the review procedures for site plan applications. Pursuant to Section 2.4.9(D)(3), a site plan application for a building greater than or equal to 80,000 square feet in area requires review and action by the City Commission. For such site plan applications, the Planning and Zoning Board provides a recommendation to the City Commission to either approve, approve with conditions, or deny the application based upon the application’s compliance with the standards of Subsection 2.4.9(E) (an analysis of the application’s compliance with the standards of the aforementioned section are provided within the Staff Report dated September 10, 2013, which is attached.) Following a public hearing before the Planning and Zoning Board, the application and the Board’s recommendation is forwarded to the City Commission for review and action.

Neighborhood Meeting

A Neighborhood Meeting was held on June 20, 2013 at the Alachua Branch of the Alachua County Library. The applicant’s agent was present and available to answer questions. As evidenced by materials submitted by the applicant, the meeting was attended by twelve (12) members of the public. A summary of the discussion which occurred at the Neighborhood Meeting has been provided by the applicant and is included within the application materials (attached.)

Consistency with the City’s Comprehensive Plan

The application has been reviewed for consistency with the City’s Comprehensive Plan. Specific Goals, Objectives, and Policies (GOPs) that support the application are located within the Vision Element, Future Land Use Element, Transportation Element, Community Facilities and Natural Groundwater Aquifer Recharge Element, and Conservation and Open Space Element, and have been identified within the Staff Report dated September 10, 2013 (attached.)

Compliance with the City’s Land Development Regulations

Subsection 2.4.9(E) of the City’s Land Development Regulations states that a Site Plan shall only be approved upon a finding that the standards provided therein have been met. The application has been reviewed for compliance with the aforementioned subsection, and a complete analysis of the application’s compliance has been provided in the Staff Report dated September 10, 2013 (attached.)

Planning & Zoning Board Decision

The Planning and Zoning Board held a public hearing on September 10, 2013, and found the application to be consistent with the Comprehensive Plan and in compliance with the Land Development Regulations and voted 3-0 to transmit the Site Plan to the City Commission with a recommendation to approve, subject to the seven (7) conditions provided in the Staff Report dated September 10, 2013.

ATTACHMENTS:

1. Staff Report to the Planning & Zoning Board, dated September 10, 2013
2. Proposed Site Plan Set
3. Staff Review/Application Materials
4. Application Package submitted by Applicant
5. September 23, 2013 City Commission Public Notice Affidavits

REVIEWED BY CITY MANAGER: 



City of Alachua

Planning & Community Development Department Staff Report

Planning & Zoning Board Hearing Date: September 10, 2013
Quasi-Judicial Hearing

SUBJECT: A request for a Site Plan for a proposed ±165,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements

APPLICANT: Nanotherapeutics, Inc.

PROPERTY OWNERS: ADC Development & Investment Group, LLC
Spear Copeland, LLC

AGENT: Causseaux, Hewett, & Walpole, Inc.

LOCATION: Copeland Industrial Park: West of NW 126th Terrace and South of CR 2054 (Rachael Boulevard)

PARCEL ID NUMBER(S): 03927-000-011-000 and a portion of 03927-000-000

FLUM DESIGNATION: Industrial

ZONING: Light & Warehouse Industrial (ILW)

OVERLAY: N/A

ACREAGE: ±28.07 acres

PROJECT PLANNER: Justin Tabor, AICP

RECOMMENDATION: Staff recommends that the Planning & Zoning Board transmit the Site Plan to the City Commission with a recommendation to approve, subject to the seven (7) conditions provided in Exhibit "A" of this Staff Report.

RECOMMENDED MOTION: *Based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and transmits the Site Plan to the City Commission with a recommendation to approve, subject to the seven (7) conditions provided in Exhibit "A" of the Staff Report to the Planning & Zoning Board dated September 10, 2013.*

SUMMARY

The proposed site plan is a request by Causseaux, Hewett, & Walpole, Inc., agent for Nanotherapeutics, Inc., applicant, ADC Development and Investment Group, LLC, and Spear Copeland, LLC, property owners, for a proposed ±165,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements.

The subject property is ±28.07 acres in area and is located within Copeland Park, west of NW 126th Terrace and south of County Road 2054 (Rachael Boulevard.) Access to the subject property is provided by connection to an existing private road which connects to NW 126th Terrace. Existing development within Copeland Industrial Park is located to the north.

The proposed development will convey stormwater runoff to an existing stormwater basin located east of the subject property. The existing stormwater basin was designed to accommodate the development of the subject property, and the proposed development will comply with the conditions of the approved Environmental Resource Permit issued by Suwannee River Water Management District.

The proposed facility will manufacture and produce vaccines, and will include laboratories, offices, and other supporting uses. The proposed use is classified as “Light Manufacturing” which is defined in Article 10 of the City’s Land Development Regulations (LDRs) as follows: “The mechanical transformation of predominantly previously prepared materials into new products, including assembly of component parts and the creation of products for sale to the wholesale or retail markets or directly to consumers. Such uses are wholly confined within an enclosed building, do not include processing of hazardous gases and chemicals, and do not emit noxious noise, smoke, vapors, fumes, dust, glare, odor or vibration. Examples include, but are not limited to: production or repair of small machines or electronic parts and equipment; woodworking and cabinet building; publishing and lithography; computer design and development; research, development, testing facilities and laboratories; apparel production; sign making; assembly of prefabricated parts; manufacture of electric, electronic, or optical instruments or devices; manufacture and assembly of artificial limbs, dentures, hearing aids and surgical instruments; manufacture, processing, and packing of food products, cosmetics; and manufacturing of components, jewelry, clothing, trimming decorations and any similar item.”

Section 2.4.9(D) of the City’s LDRs establishes the review procedures for site plan applications. Pursuant to Section 2.4.9(D)(3), a site plan application for a building greater than or equal to 80,000 square feet in area requires review and action by the City Commission. For such site plan applications, the Planning and Zoning Board provides a recommendation to the City Commission to either approve, approve with conditions, or deny the application based upon the application’s compliance with the standards of Subsection 2.4.9(E) (an analysis of the application’s compliance with the standards of the aforementioned section are provided within this Staff Report.) Following the public hearing before the Planning and Zoning Board, the application and the Board’s recommendation will be forwarded to the City Commission for review and action.

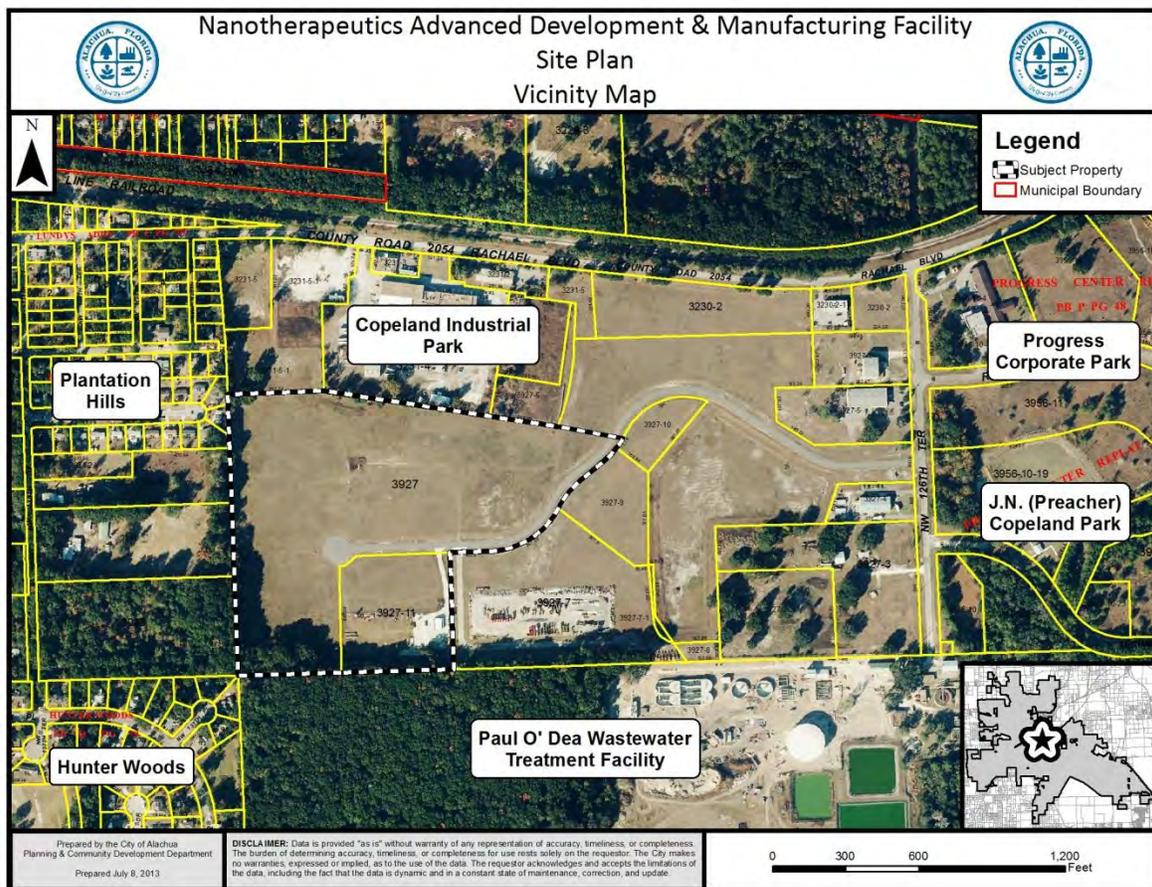
SURROUNDING USES

The existing uses, Future Land Use Map (FLUM) Designations, and zoning districts of the surrounding area are identified in Table 1. Map 1 provides an overview of the vicinity of the subject property. (NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. It is not intended to be all-inclusive, and may not identify all existing uses, FLUM Designations, and/or zoning districts surrounding the subject property.)

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Copeland Industrial Park	Industrial	Light and Warehouse Industrial (ILW)
South	Paul O’Dea Wastewater Treatment Plant	Public	Government Facilities (GF)
East	Vacant Industrial Land	Industrial	Light and Warehouse Industrial (ILW)
West	Single Family Residential Dwellings; Vacant Residential Land	Moderate Density Residential	Residential Single Family – 3 (RSF-3)

Map 1. Vicinity Map



NEIGHBORHOOD MEETING

The purpose of a Neighborhood Meeting is to educate the owners of nearby land and any other interested members of the public about the project and to receive comments regarding the project. As required by Section 2.2.4 of the LDRs, all property owners within 400 feet of the subject property were notified of the meeting and notice of the meeting was published in a newspaper of general circulation.

A Neighborhood Meeting was held on June 20, 2013 at the Alachua Branch of the Alachua County Library. The applicant's agent was present and available to answer questions. As evidenced by materials submitted by the applicant, the meeting was attended by twelve (12) members of the public. A summary of the discussion which occurred at the Neighborhood Meeting has been provided by the applicant and is included within the application materials.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The Goals, Objectives, and Policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

Vision Element

GOAL 1: Economic Development: The City of Alachua has a unique business climate. The City is home to corporations, technology incubators, local businesses, and start-up companies. The City will maintain its focus on a welcoming business environment and encourage business development in the downtown area and along the U.S. 441 corridor. Alachua desires to continue to be a home to innovative businesses and an employment center where jobs are provided at every level. The City will continue to encourage the growth and development of established industries, such as biotechnology, and encourage the diversification and expansion of commercial businesses which provide integral services to the City's residents.

Evaluation and Findings of Consistency with Goal 1: The proposed development will further economic development within the City of Alachua. According to materials submitted by the applicant, the Nanotherapeutics ADM Facility will create approximately 150 new jobs with an average annual salary of \$90,000. The proposed use consists of a light manufacturing use, specifically vaccination production, which is a field closely related to the existing biotechnology industries located within the City.

Future Land Use Element

GOAL 1: Future Land Use Map 2025:

The City of Alachua shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure

economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens.

Objective 1.5: Industrial

The City of Alachua shall establish one industrial district: Industrial. This district shall provide a broad range of clean industry, warehousing, research, and technology industries, to provide a variety of job opportunities to the citizens of Alachua and the North Central Florida Region.

Policy 1.5.a: Industrial: Industrial uses are generally intense uses that require large land area and convenient access to transportation facilities, such as roads, highways, and rail lines. Industrial uses, such as warehousing and manufacturing, shall be located and designed in such a manner as to prevent unwanted impacts to adjacent properties.

2. The Industrial land use category may include manufacturing facilities subject to the following standards:

Type of manufacturing	Size of building	Manufacturing	Warehousing	Building Area Coverage
Manufacturing/Assembly	300,000 sq.ft. maximum	75% of total area maximum	No Maximum	40% maximum

Evaluation and Findings of Consistency with Goal 1, Objective 1.4, and Policy 1.5.a: The subject property has an Industrial FLUM Designation, which permits light manufacturing uses. The proposed building is consistent with the provisions of Policy 1.5.a.2, which states that manufacturing and assembly uses cannot exceed 300,000 square feet in area.

Objective 2.4: Landscaping and Tree Protection Standards: The City shall adopt landscaping and tree protection standards in order to achieve the aesthetic design values of the community and preserve tree canopies, as well as specimen protected, heritage and champion trees.

Policy 2.4.a: Landscaping: General – The City shall require landscaping plans to be submitted with each nonresidential and multiple family residential site plan. The minimum landscaped area shall be 30% of the development site. Landscaping designs shall incorporate principles of xeriscaping, where feasible. The City shall develop a list of preferred planting materials to assist in the landscape design. Landscape plans shall include perimeter and internal site landscaping.

Policy 2.4.b: Landscaping: Buffering – A buffer consists of horizontal space (land) and vertical elements (plants, berms, fences, walls) that physically separate and visually screen adjacent land uses. The City shall

establish buffer yard requirements that are based on the compatibility of the adjacent uses and the desired result of the buffer.

Evaluation and Findings of Consistency with Objective 2.4 and Policies 2.4.a and 2.4.b: The Site Plan includes a Landscaping Plan which demonstrates that the proposed development will comply with all applicable landscaping and buffering standards required by the City's Comprehensive Plan and Land Development Regulations. A significant area of the site (approximately 70.4%) consists of landscaped areas, which exceeds the minimum 30% area required by Policy 2.4.a.

Objective 2.5: Open Space Standards: The City shall utilize open space requirements to preserve the rural character of Alachua, protect natural resources, and provide spaces for people to recreate and gather.

Policy 2.5.a: There shall be a minimum of 10% percent open space required. The City shall establish incentives for the provision of open space beyond minimum requirements.

Evaluation and Findings of Consistency with Objective 2.5 and Policy 2.5.a: The site plan indicates that following the proposed development, the site will provide 19.84 acres (approximately 70.4% of the site) of open space, exceeding the minimum 10% open space requirement.

Objective 5.1: Natural features: The City shall coordinate Future Land Use designations with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

Evaluation and Findings of Consistency with Objective 5.1: An environmental conditions and site suitability analysis has been provided in this report, and indicates that the development will not adversely affect natural features.

Objective 5.2: Availability of facilities and services: The City shall utilize a concurrency management system to ensure that the adopted level of service standards are maintained.

Policy 5.2.a: All new development shall meet level of service requirements for roadways, potable water and sanitary sewer, stormwater, solid waste, public schools, and improved recreation in accordance with LOS standards adopted in the elements addressing these facilities.

Evaluation and Findings of Consistency with Objective 5.2 and Policy 5.2.a: An analysis of the development's impact to public facilities has been provided within this report. This analysis demonstrates that the development will not adversely affect the level of service (LOS) standard of any monitored public facilities.

Policy 7.1.a: The City shall require utility easements as part of the development review process.

Evaluation and Findings of Consistency with Policy 7.1.a: The applicant has provided the City with public utilities easements which shall be recorded in the Public Records of Alachua County, Florida.

Policy 9.1: Any new development within a Commercial or Industrial Future Land Use Map Designation within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

Evaluation and Findings of Consistency with Policy 9.1: The proposed development will connect to potable water and wastewater facilities.

Transportation Element

Objective 1.1: Level of Service

The City shall establish a safe, convenient and efficient level of service standard for all motorized and non-motorized transportation systems.

Evaluation and Findings of Consistency with Objective 1.1: An analysis of the development's impacts to transportation facilities has been provided within this report. The development will not adversely affect the level of service for transportation facilities.

Policy 1.3.a: The City shall establish minimum and maximum parking standards in order to avoid excessive amounts of underutilized parking areas.

Policy 1.3.d: The City shall require landscaping within parking areas, with an emphasis on canopy trees. The City shall consider establishing incentives for landscaping in excess of minimum standards.

Policy 1.3.e: The City shall establish standards for parking facility design that adequately separates pedestrians from vehicular traffic and delineates pedestrian crossing zones.

Policy 1.3.f: The City shall establish bicycle parking facility standards based on type of use within developments.

Policy 1.3.g: The City shall require spaces to accommodate persons with physical disabilities as required by the Americans with Disabilities Act.

Evaluation and Findings of Consistency with Objective 1.1 and Policies 1.3.a, 1.3.d – 1.3.g: The site plan complies with Section 6.1, Off-street parking and loading standards, of the City’s Land Development Regulations. Required landscaping materials and pedestrian crossings and connections will be provided within parking areas. The site plan also provides all required bicycle parking facilities and the minimum number of required accessible parking spaces.

Community Facilities & Natural Groundwater Aquifer Recharge Element

Policy 1.1.d:

The City hereby establishes the following level of service standards for sanitary sewer facilities:

Levels of Service

- a. **Quality:** Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).
- b. **Quantity:** System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with F.A.C. 62-600.405, or subsequent provision. This level of service standard shall be re-evaluated one year from the adoption date for the amended Plan.
- c. **System capacity:** If the volume of existing use in addition to the volume of the committed use of the City’s wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Policy 1.1.d: An analysis of the development’s impacts to sanitary sewer facilities has been provided within this report. The development will not adversely affect the level of service for sanitary sewer facilities.

Policy 1.2.a: The City shall establish a Community Wastewater Service Area, which includes all areas where wastewater service is available. Wastewater service shall be deemed available if:

3. A gravity wastewater system, wastewater pumping station, or force main exists within $\frac{1}{4}$ mile of the property line of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and the gravity wastewater system, wastewater pumping station, or force main can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 1.2.a: The proposed development is located within the City's utility service area and will connect to the City's wastewater system.

Policy 2.1.a: The City hereby establishes the following level of service standards for solid waste disposal facilities:

<u>FACILITY TYPE</u>	<u>LEVEL OF SERVICE STANDARD</u>
Solid Waste Landfill	.73 tons per capita per year

Evaluation and Findings of Consistency with Objective 2.1.a: An analysis of the development's impacts to solid waste facilities has been provided within this report. The development will not adversely affect the level of service for solid waste facilities.

Objective 3.1: Ensure provision of drainage and stormwater retention through level of service standards and design requirements to minimize flooding and to protect and improve water quality.

Policy 3.1.f: The City shall permit the use of off-site retention facilities, if they are part of previously approved master stormwater retention or detention facility.

Evaluation and Findings of Consistency with Objective 3.1 and 3.1.f: The proposed development will convey stormwater runoff to an existing stormwater basin located east of the subject property. The existing stormwater basin was designed to accommodate the development of the subject property, and the proposed development will comply with the conditions of the approved Environmental Resource Permit issued by Suwannee River Water Management District.

Policy 4.1.b: The City shall establish a Community Potable Water Service Area, which includes all areas where potable water service is available. Water service shall be deemed available if:

3. A water main exists within ¼ mile of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 4.1.b: The proposed development is located within the City's utility service area and will connect to the City's potable water system.

Policy 4.1.c: The City establishes the following level of service standards for potable water:

1. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.
2. Quantity: System-wide potable water distribution and treatment will be sufficient to provide a minimum of 275 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with Florida Administrative Code.
3. System Capacity: If the volume of existing use in addition to the volume of the committed use of the City's potable water facility reaches 85% of the permitted design capacity, no further development orders or permits for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Objective 4.1.c: An analysis of the development's impacts to potable water facilities has been provided within this report. The development will not adversely affect the level of service for potable water facilities.

Conservation & Open Space Element

Policy 1.2.a:

The City shall ensure that land use designations, development practices and regulations protect native communities and ecosystems, and environmentally sensitive lands.

Policy 1.3.e:

The City's land use designations shall offer the best possible protection to threatened and endangered species.

Evaluation and Findings of Consistency with Policy 1.2.a and 1.3.e: The subject property does not contain any environmentally sensitive lands, and is not located adjacent to large tracts of land or land designated for conservation. The development therefore will encourage development practices which provide for the protection of native communities and ecosystems.

ENVIRONMENTAL CONDITIONS ANALYSIS

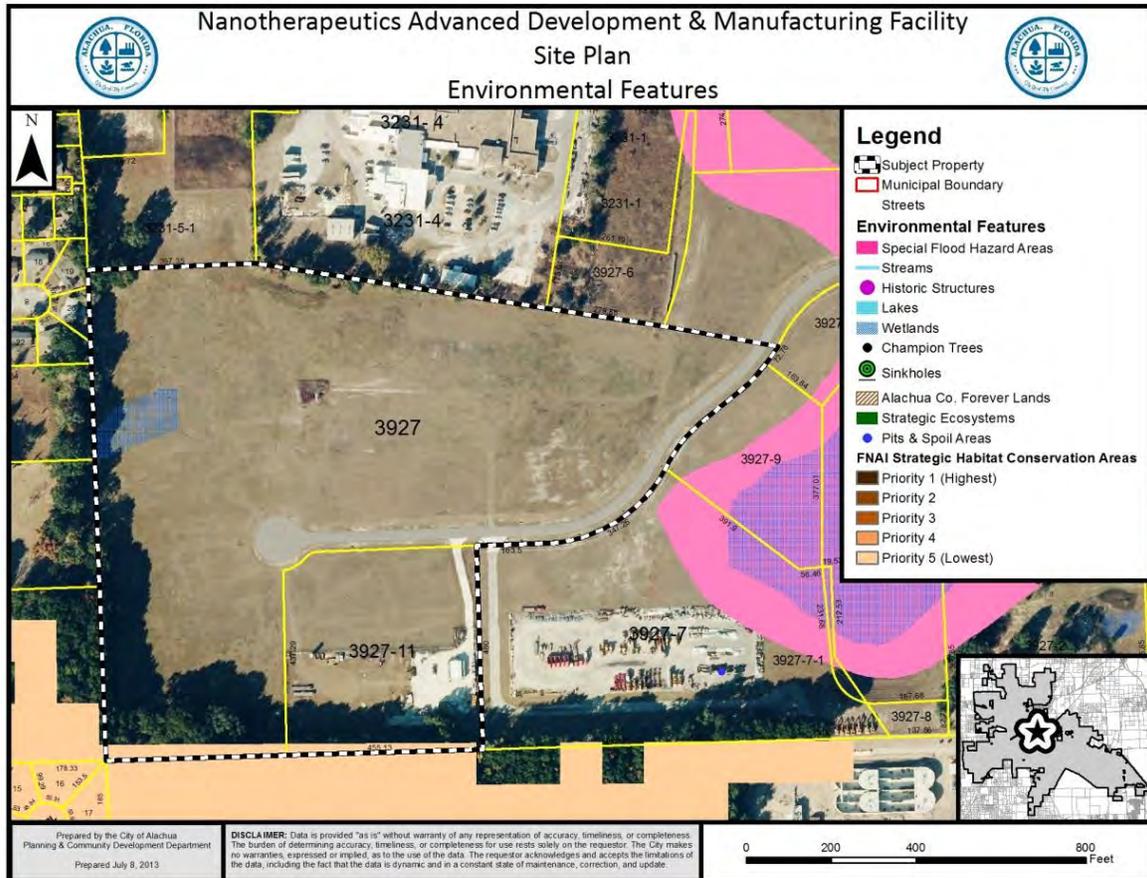
Wetlands

According to best available data, there are no wetlands located on the subject property. If any wetlands are identified on the subject property at a later time, these areas will be

subject to the applicable protection standards of the City of Alachua Comprehensive Plan and the Land Development Regulations (LDRs.)

Evaluation: No wetlands have been identified on subject property therefore, there are no issues related to wetland protection.

Map 2. Environmental Features



Strategic Ecosystems

Strategic Ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1987. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the most significant natural biological communities in private ownership in Alachua County. The subject property is not located within or adjacent to a Strategic Ecosystem.

Evaluation: The subject property is not located within or adjacent to a Strategic Ecosystem, therefore, the development will not adversely impact any Strategic Ecosystem(s) identified within the ecological inventory report.

Regulated Plant & Animal Species

The subject property is not known to contain any species identified as endangered, threatened, or of special concern. The Florida Natural Areas Inventory (FNAI) has identified areas throughout the State of Florida which may contain good quality natural communities. This data layer is known as the Potential Natural Areas (PNA) data layer, and identifies privately owned lands that are not managed or listed for conservation purposes. These areas were delineated by FNAI scientific staff through interpretation of natural vegetation from 1988-1993 FDOT aerial photographs and from input received during Regional Ecological Workshops held for each regional planning council. These workshops were attended by experts familiar with natural areas in the region. Potential Natural Areas were assigned ranks of Priority 1 through Priority 5 based on size, perceived quality, and type of natural community present. The areas included in Priority 5 are exceptions to the above criteria. These areas were identified through the same process of aerial photographic interpretation and regional workshops as the PNA 1 through 4 ranked sites, but do not meet the standard criteria.

Evaluation: No species identified as endangered, threatened, or of special concern are known to exist on the subject property. The property contiguous to the south (the Paul O’Dea Wastewater Treatment Plant) contains lands identified as “Priority 5” in the PNA data layer, which is the lowest priority category. While this indicates that the property may feature habitat which could support species identified as endangered, threatened, or of special concern, this data is not intended for use in a regulatory decision making process. If a regulated plant or animal species is identified during development, the applicant must adhere to the applicable standards in the City of Alachua Comprehensive Plan and the Land Development Regulations.

Soil Survey

Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff.) There are four hydrologic groups: A, B, C, and D. “Group A” soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. “Group D” soils have very lower infiltration rates and therefore a higher runoff potential.

There are four (4) soil types found on the subject property:

Arredondo Fine Sand (0% – 5% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes and small commercial buildings.

Arredondo Fine Sand (5% – 8% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes and local roads and moderate limitations for small commercial buildings.

Millhopper Fine Sand (0% – 5% slopes)

Hydrologic Soil Group: A

This soil type is moderately well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes, local roads, and small commercial buildings.

Lochloosa Fine Sand (2% – 5% slopes)

Hydrologic Soil Group: C

This soil type is somewhat poorly drained. Permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes, local roads, and small commercial buildings.

Evaluation: The soil types do not pose any significant limitations for development, therefore, there are no issues related to soil suitability.

Flood Potential

Panel 0140D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006, indicates that the subject property is in Flood Zone X (areas determined to be outside of the 500-year floodplain.)

Evaluation: The subject property is located in Flood Zone X (areas determined to be outside of the 500-year floodplain), therefore there are no issues related to flood potential.

Karst-Sensitive Features

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations. The subject property is located within an area where sinkholes may potentially allow hydrologic access to the Floridan Aquifer System, however, best available data indicates that no sinkholes or known indicators of sinkhole activity are located on the subject property.

Evaluation: There are no geologic features located on the subject property which indicate an increased potential for karst sensitivity.

Wellfield Protection Zones

Policy 7.2.1 of the Future Land Use Element of the City's Comprehensive Plan establishes a 500 foot radius area around each city-owned potable water well.

Evaluation: The subject property is not located within a City of Alachua wellhead protection zone as identified on the City of Alachua Wellfield Primary Protection Zones Map of the City's Comprehensive Plan, therefore, there are no issues related to wellfield protection.

Historic Structures/Markers and Historic Features

The subject property does not contain any historic structures as determined by the State of Florida and the Alachua County Historic Resources Inventory. Additionally, the subject property is not located within the City's Historic Overlay District, as established by Section 3.7 of the City's Land Development Regulations.

Evaluation: There are no issues related to historic structures or markers.

COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS

SITE PLAN STANDARDS

Section 2.4.9(E) of the City's Land Development Regulations (LDRs) establishes the standards with which all site plans must be found to be compliant. The application has been reviewed for compliance with the standards of Section 2.4.9(E.) An evaluation and findings of the application's compliance with the standards of Section 2.4.9(E) is provided below.

(E) Site Plan Standards

A Site Plan shall be approved only upon a finding the applicant demonstrates all of the following standards are met:

(1) *Consistency with Comprehensive Plan*

The development and uses in the Site Plan comply with the Goals, Objectives and Policies of the Comprehensive Plan.

Evaluation & Findings: An analysis of the application's consistency with the Comprehensive Plan has been provided in this report.

(2) *Use Allowed in Zone District*

The use is allowed in the zone district in accordance with Article 4: *Use Regulations*.

Evaluation & Findings: The subject property is zoned Light and Warehouse Industrial (ILW.) The proposed facility will manufacture and produce vaccines, and will include laboratories, offices, and other supporting uses. Article 10 of the City's LDRs defines "Light Manufacturing" as follows: "The mechanical transformation of predominantly previously prepared materials into new products, including assembly of component parts and the creation of products for sale to the wholesale or retail markets or directly to consumers. Such uses

are wholly confined within an enclosed building, do not include processing of hazardous gases and chemicals, and do not emit noxious noise, smoke, vapors, fumes, dust, glare, odor or vibration. Examples include, but are not limited to: production or repair of small machines or electronic parts and equipment; woodworking and cabinet building; publishing and lithography; computer design and development; research, development, testing facilities and laboratories; apparel production; sign making; assembly of prefabricated parts; manufacture of electric, electronic, or optical instruments or devices; manufacture and assembly of artificial limbs, dentures, hearing aids and surgical instruments; manufacture, processing, and packing of food products, cosmetics; and manufacturing of components, jewelry, clothing, trimming decorations and any similar item.” The proposed use meets the definition of the “Light Manufacturing” use type. Table 4.1-1 of the LDRs establishes the allowable uses within each zoning district, and indicates that “Light Manufacturing” is a permitted use in the ILW zoning district.

(3) *Zone District Use-Specific Standards*

The development and uses in the Site Plan comply with Section 4.3, *Use-Specific Standards*.

Evaluation & Findings: There are no Use-Specific Standards which apply to the “Light Manufacturing” use type.

(4) *Development and Design Standards*

The development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 6: *Development Standards*.

Evaluation & Findings: The application has been reviewed for and is found to be in compliance with all relevant provisions of Article 6, *Development Standards*, including but not limited to *Section 6.1*, Off Street Parking & Loading Standards, *Section 6.2*, Tree Protection/Landscape/Xeriscape Standards, *Section 6.3*, Fencing Standards, *Section 6.4*, Exterior Lighting Standards, *Section 6.7*, Open Space Standards, and *Section 6.9*, Environmental Protection Standards.

(5) *Subdivision Standards*

In cases where a subdivision has been approved or is pending, the development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 7: *Subdivision Standards*.

Evaluation & Findings: Section 2.4.10(B)(3)(f) of the City’s LDRs exempt an industrial development requiring Site Plan review from the subdivision process, provided that the development does not result in the creation, relocation, or extension of any street. Site Plans for such development must indicate the location and specifications of all utility infrastructure, including but not limited to water, wastewater, and electrical facilities, serving the development. This Site Plan proposes a modification to an existing street, however, the modification will not result in the relocation or extension of the

street. The proposed modification is therefore exempt from the subdivision process. The location and specifications of all utility infrastructure has been shown on this Site Plan.

(6) Complies with All Other Relevant Laws and Ordinances

The proposed site plan development and use complies with all other relevant City laws and ordinances, state and federal laws, and regulations.

Evaluation & Findings: The application is consistent with all other relevant City ordinances and regulations.

PUBLIC FACILITIES IMPACT

Traffic Impact

Table 2. Affected Comprehensive Plan Roadway Segments¹

Segment Number ^{2, 3}	Segment Description	Lanes	Functional Classification	Area Type	LOS
N/A	CR 2054 East	2/U	County Maintained Collector	Urban Trans	D

1 Source: City of Alachua Comprehensive Plan, Transportation Element.
2 For developments generating less than 1,000 trips, affected roadway segments are identified as all those wholly or partially located within ½ mile of the development's ingress/egress [Section 2.4.14(H)(2) of the LDRs].
3 FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

Table 3. Trip Generation¹

Land Use	AADT (Enter/Exit) ²	AM Peak Hour (Enter/Exit) ²	PM Peak Hour (Enter/Exit) ²
Research & Development Center (ITE Code 760)	332 (166/166)	52 (45/7)	49 (5/44)

1 Source: ITE Trip Generation, 8th Edition.
2 Formulas: AADT - 2.77 trips per employee x 120 employees (50% entering/50% exiting); AM Peak Hour - 0.43 trips per employee x 120 employees (86% entering/14% exiting); PM Peak Hour - 0.41 trips employee x 120 employees (10% entering/90% exiting).

Table 4a. Projected Impact on Affected Comprehensive Plan Roadway Segments (AADT)

Traffic System Category	CR 2054 East ¹
Average Annual Daily Trips	
Maximum Service Volume ²	14,580
Existing Traffic ³	1,747
Reserved Trips ⁴	0
Available Capacity ⁴	12,833
Increase/Decrease in Daily Trips Generated by Development ⁵	332
Residual Capacity After Development's Impacts⁶	12,501

1 FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.
2 Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas.
3 Florida State Highway System Level of Service Report 2011, Florida Department of Transportation, District II, June 2012.
4 Source: City of Alachua August 2013 Development Monitoring Report.
5 Trip Distribution: CR 2054 East - 100%.
6 The application is for a Final Development Order. Facility capacity and concurrency will be reserved.

Table 4b. Projected Impact on Affected Comprehensive Plan Roadway Segments (Peak Hour)

Traffic System Category	CR 2054 East ¹
PM Peak Hour Trips	
Maximum Service Volume ²	1,314
Existing Traffic ³	194
Reserved Trips ⁴	0
Available Capacity ⁴	1,120
Increase/Decrease in PM Peak Hour Trips Generated by Development ⁵	52
Residual Capacity After Development's Impacts⁶	1,068
¹ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity. ² Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas. ³ Florida State Highway System Level of Service Report 2011, Florida Department of Transportation, District II, June 2012. ⁴ Source: City of Alachua August 2013 Development Monitoring Report. ⁵ Trip Distribution: CR 2054 East- 100%. ⁶ The application is for a Final Development Order. Facility capacity and concurrency will be reserved.	

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of the roadway segment identified above; therefore, the demand generated by the development is acceptable.

Potable Water Impacts

Table 5. Potable Water Impacts

System Category	Gallons Per Day
Current Permitted Capacity ¹	2,300,000
Less Actual Potable Water Flows ¹	1,162,000
Reserved Capacity ²	36,154
Available Capacity	1,101,846
Projected Potable Water Demand from Application ³	70,000
Residual Capacity	1,031,846
Percentage of Permitted Design Capacity Utilized	55.14%
Sources: ¹ City of Alachua Public Services Department, April 2013 ² City of Alachua August 2013 Development Monitoring Report ³ Source: Calculated Potable Water Usage for Nanotherapeutics, Inc. Site Plan, Attachment A to applicant's Concurrency Impact Analysis	

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for potable water facilities; therefore, the demand generated by the development is acceptable.

Sanitary Sewer Impacts

Table 6. Sanitary Sewer Impacts

System Category	Gallons Per Day
Treatment Plant Current Permitted Capacity	1,230,000
Less Actual Treatment Plant Flows ¹	623,000
Reserved Capacity ²	23,204
Available Capacity	583,796
Projected Sanitary Sewer Demand from Application ³	44,500
Residual Capacity	539,296
Percentage of Permitted Design Capacity Utilized	56.15%

Sources:
¹ City of Alachua Public Services Department, April 2013
² City of Alachua August 2013 Development Monitoring Report
³ Source: Calculated Sanitary Sewer Usage for Nanotherapeutics, Inc. Site Plan, Attachment B to applicant's Concurrency Impact Analysis

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for sanitary sewer facilities; therefore, the demand generated by the development is acceptable.

Solid Waste Impacts

Table 7. Solid Waste Impacts

System Category	Pounds Per Day	Tons Per Year
Demand from Existing Development ¹	36,536	6,667.82
Reserved Capacity ²	1,868.39	340.98
Demand Generated by Application ³	1,980	361.35
New River Solid Waste Facility Capacity⁴	50 years	

Sources:
¹ University of Florida, Bureau of Economic & Business Research, Estimates of Population by County and City in Florida, April 1, 2012; Policy 2.1.a, CFNGAR Element (Formula: 9,134 persons x 0.73 tons per person per year).
² City of Alachua August 2013 Development Monitoring Report.
³ Sincero and Sincero; Environmental Engineering: A Design Approach. Prentice Hall, New Jersey, 1996
⁴ New River Solid Waste Facility, April 2013.

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of solid waste facilities; therefore, the demand generated by the development is acceptable.

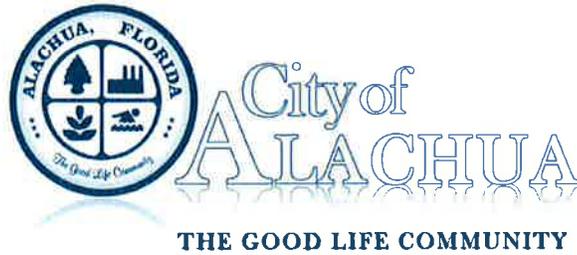
Recreation Facilities

The proposed development is nonresidential in nature, therefore, there are no impacts to recreation facilities. The development will have no impact to the Level of Service (LOS) of recreation facilities.

Public School Facilities

The proposed development is nonresidential in nature, therefore, there are no impacts to public school facilities. The development will have no impact to the Level of Service (LOS) of public school facilities.

6. The applicant shall obtain all other applicable state and federal permits before the commencement of the development.
7. A building permit shall not be issued until the applicant has complied with conditions 5 through 6 above, and a Certificate of Occupancy (“CO”) shall not be issued until the applicant has complied with conditions 1 through 4 above.



TRACI L. CAIN
City Manager

ALAN S. HENDERSON
Deputy City Clerk

Thursday, September 19, 2013

Re: Site Plan for Nanotherapeutics

Due to the electronic file size the Site Plan is not available online. However, the document is on file and available for review by contacting the Deputy City Clerk's office at (386) 418-6100.

Thank You,
Office of the Deputy City Clerk



Alachua County Fire Rescue

Life Safety and Internal Affairs Branch

Edwin C. Bailey, Chief

Plan Review Comments

Alachua County Fire Rescue, Life Safety and Internal Affairs Branch has reviewed the following submittal for compliance with applicable codes and standards. The plans are:

Approved As Submitted

Project Name: Nanotherapeutics ADM Facility Permit#: COA 082913
Address: Alachua FL Date Reviewed: 8/29/2013
Applicant Name: Occupancy: Business
Company Name: Nanotherapeutics, Inc Project Type: Other
Address:
Phone:

Plan Review Comments:

. Site Plan Review

Review and approval of these construction documents by this department does not relieve the architect, engineer, contractor, and/or subcontractors from the responsibility of complying with all applicable codes, standards, ordinances, and state statutes as adopted by Alachua County.

Notice: Alachua County Fire Rescue charges a fee for new construction plan reviews and inspections pursuant to the BoCC direction. If you require more inspections than the minimum for the type of permit your applied for, you will be billed additional plan review or inspection fees.

Do not use the County automated inspection scheduling system to schedule a fire department inspection, please call (352)384-3103 or schedule it via the internet at <http://www.alachuacounty.us/Depts/PublicSafety/Pages/Inspection-Request.aspx>.

Reviewed by:

Brian Green
Fire Inspector

8/29/2013

Date



*Focused on Excellence
Delivered with Integrity*

RECEIVED
AUG 15 2013

August 15, 2013

Kathy Winburn
Office of Planning and Zoning
City of Alachua
PO Box 9
Alachua, FL 32615

RE: Nanotherapeutics Advanced Development & Manufacturing Facility

Dear Ms. Winburn:

Please find the following enclosed for review and approval for the above referenced project:

- Three Application Packages;
- Three (3) Sets Development Plans;
- Three (3) Copies Draft Easements Documents; and
- CD of All PDFs.

Easements/Legal Access Issues

1. The subject property is provided access by a 60 foot wide ingress, egress and public utilities easement. This easement is recorded in the public records of Alachua County as Exhibit "B" to the deed of Parcel #03927-000-000, as recorded in O.R. Book 3416, Page 742. The applicant must:
 - a. Prepare documentation which will vacate the portion of the easement located within the plan's project area and provide such documentation to the City for review, approval, and acceptance.
 - **Please find enclosed the draft easement documents for vacating existing easements located within the project area.**
 - b. Prepare an ingress/egress easement and public utilities easement for the land which consists of the proposed cul-de-sac and provide such documentation to the City for review, approval, and acceptance.
 - **Please find enclosed the draft easement documents for the proposed cul-de-sac ingress/egress easement and public utility easements.**

These documents must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such documentation shall be incurred by the applicant.

- **Acknowledged.**

132 NW 76th Drive
Gainesville, Florida 32607

Phone: (352) 331-1976
Fax: (352) 331-2476
www.chw-inc.com

2. A number of public utilities easements located within the project area and parent parcel are unrecorded. The applicant must provide draft easements for review and approval of all unrecorded easements within the project area and parent parcel. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
 - **The dedicated conveyance of the above mentioned easements has never occurred. However, please find enclosed draft utility easement documents for the project area and the parent parcel.**
3. Prepare documentation for all proposed public utilities easements and provide such documentation to the City for review and approval. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
 - **Please find enclosed the draft public utility easement documents.**

Landscaping Standards

10. Revise the Landscape Plan/calculations as follows:

Perimeter Buffer [Section 6.2.2(D)(3)]:

- i. The applicant has utilized the correct west perimeter buffer (Type D, 20 feet wide), and has chosen an Option 3 buffer. Option 3 requires one fence or wall plus one canopy tree every 20 linear feet. The Type D buffer is intended to function as an opaque screen from the ground to a height of at least 6 feet, providing a strong sense of total separation between uses. The fencing material proposed along the west property line does not provide an opaque screen between the subject property and properties contiguous to the west. The applicant must either: (1) select another screening option type for the west perimeter buffer, or (2) utilize a fencing material which meets the requirement of the Option 3 buffer and provides an opaque screen between the subject property and the contiguous properties.

Outstanding Issues:

The applicant has provided the necessary planting materials to meet the requirements of a Type D, 20 foot (Option 1) buffer; however, the west perimeter buffer terminates approximately 115 feet north of the south property line. The west perimeter buffer must extend to the north line of the proposed 30 foot public utilities easement located along the south property line.

- **Acknowledged. The west perimeter has been extended to the north line of the proposed 30' public utilities easement located along the south**

property line. Additional plant material (trees and evergreen hedge) and fencing have been provided as well. Please see revised plans and buffer calculations on L-100.

- j. The applicant must provide the following perimeter buffers and required landscaping materials:
- i. North property line: Type A, 5 foot wide buffer.
 - ii. East property line: Type A, 5 foot wide buffer.
 - iii. South property line: Type C, 10 foot wide buffer.

The applicant must identify on Sheet L-100 which Type A/C buffer option (Option 1, 2 or 3) has been selected and must also provide perimeter buffer landscaping calculations on Sheet L-100.

Outstanding Issue

The applicant has provided the necessary plant/fencing materials to meet the minimum standards for the north, east, and south perimeter buffers, however, the south perimeter buffer is located approximately 115 feet north of the south property line. The south perimeter buffer must be contiguous to the north line of the proposed 30 foot public utilities easement located along the south property line.

- **Acknowledged. The south perimeter buffer and all required fencing and tree material has been relocated per the comment. Please see revised plans.**

Fencing Standards

15. Section 6.3.3(B) states that fences in business districts shall not be permitted in front setback areas. The zoning of the property is Light and Warehouse Industrial (ILW), which requires a front setback of 15 feet. The fence located along the front property line must therefore be set back at least 15 feet from the property line in order to comply with Section 6.3.3(B.) The plans currently propose for fencing to be located no closer than 10 feet from the front property line. Revise the plans to comply with Section 6.3.3(B.)

Outstanding Issue

The applicant must verify that all fencing call outs and dimensions have been adjusted to reflect the revised location of fencing on Sheets C1.00 – C1.14.

- **All fencing labels have been revised. Please refer to C1.00 – C1.14 for details.**

Lighting Standards

21. To demonstrate compliance with Section 6.4.4(C), provide the maximum initial lamp lumens for each luminaire type utilized on the site.

Outstanding Issue

Fixture wattage/initial lumen data has not been provided in General Note 3, Sheets E-101A and E-101B, as noted in the applicant's response letter dated August 5, 2013. Provide fixture wattage/initial lumen data in General Note 3, Sheets E-101A and E-101B.

- **The initial lumen output and fixture wattages for each site fixture type have been added to the revised drawings.**

Consistency with Other LDR Standards

22. To demonstrate compliance with the standards for outdoor storage as an accessory use provided in Section 4.4.4(E), the applicant must provide detail of the screening surrounding the mechanical yard. Such detail must include, at a minimum, an architectural elevation depicting the area of and surrounding the mechanical yard, and must identify the height of such screening materials and the materials located within the yard.

Outstanding Issue:

The applicant must identify the height of all materials located within the mechanical yard, including but not limited to the chiller, cooling towers, and generator. The applicant must verify that the mechanical yard wall detail provided on Sheet A-403 depicts the height of the wall in all areas surrounding the mechanical yard (the west building elevation shown on Sheet A-403 appears to depict the wall at approximately 6 feet in height along a portion of the west perimeter of the mechanical yard.)

- **Acknowledged. The peak heights of major equipment and the perimeter walls have been called out on the plan. The height of the yard wall is continuous, and the West Elevation view has been adjusted to more accurately represent the configuration of the wall.**

Should you have any questions or require additional information, please do not hesitate to contact me at 352-519-5940 or daniel@chw-inc.com.

Sincerely,

Causseaux, Hewett, & Walpole, Inc.



Daniel H. Young, PE LEED AP
Project Manager



City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

August 8, 2013

Mr. James Matthew
Nanotherapeutics, Inc.
13859 Progress Boulevard
Suite 300
Alachua, FL 32615

RE: Revised Site Plan: Nanotherapeutics ADM Facility

Dear Mr. Matthew:

On August 5, 2013, the City of Alachua Planning & Community Development Department received your revised Site Plan application for the Nanotherapeutics ADM Facility. Several issues discussed at the Development Review Team (DRT) Meeting held on July 22, 2013 have not been sufficiently addressed. These issues, which are identified below, must be adequately addressed before the item may proceed to the Planning & Zoning Board.

Please address all remaining insufficiencies outlined below in writing and provide an indication as to how they have been addressed no later than **4:00 PM on Thursday, August 15, 2013**. A total of three (3) copies of the application package, plans, and a CD containing a PDF of all application materials and plans must be provided by this date.

Upon receipt of your revised application, Staff will notify you of any remaining insufficiencies which must be resolved before the item may be scheduled for a public hearing before the Planning & Zoning Board (PZB.) Please note that if Staff determines that the revised submission requires outside technical review by the City, your application may be delayed in order to allow for adequate review time. You must provide 13 *double-sided, three-hole punched sets* of each application package, 13 sets of plans, and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*.

Please address the following insufficiencies:

Easements/Legal Access Issues

1. The subject property is provided access by a 60 foot wide ingress, egress and public utilities easement. This easement is recorded in the public records of Alachua County as Exhibit "B" to the deed of Parcel #03927-000-000, as recorded in O.R. Book 3416, Page 742. The applicant must:

- a. Prepare documentation which will vacate the portion of the easement located within the plan's project area and provide such documentation to the City for review, approval, and acceptance.
- b. Prepare an ingress/egress easement and public utilities easement for the land which consists of the proposed cul-de-sac and provide such documentation to the City for review, approval, and acceptance.

These documents must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such documentation shall be incurred by the applicant.

2. A number of public utilities easements located within the project area and parent parcel are unrecorded. The applicant must provide draft easements for review and approval of all unrecorded easements within the project area and parent parcel. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
3. Prepare documentation for all proposed public utilities easements and provide such documentation to the City for review and approval. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.

Outstanding Issues: The applicant must provide draft easements for review before the item may be presented to the Planning & Zoning Board. Sufficient time must be allocated to facilitate Staff review of the draft easements. **In order to avoid potential delays, the requested draft easements must be provided as soon as possible.**

Landscaping Standards

10. Revise the Landscape Plan/calculations as follows:

Perimeter Buffer [Section 6.2.2(D)(3)]:

- i. The applicant has utilized the correct west perimeter buffer (Type D, 20 feet wide), and has chosen an Option 3 buffer. Option 3 requires one fence or wall plus one canopy tree every 20 linear feet. The Type D buffer is intended to function as an opaque screen from the ground to a height of at least 6 feet, providing a strong sense of total separation between uses. The fencing material proposed along the west property line does not provide an opaque screen between the subject property and properties contiguous to the west. The applicant must either: (1) select another screening option type for the west perimeter buffer, or (2) utilize a fencing material which meets the

requirement of the Option 3 buffer and provides an opaque screen between the subject property and the contiguous properties.

Outstanding Issues: The applicant has provided the necessary planting materials to meet the requirements of a Type D, 20 foot (Option 1) buffer, however, the west perimeter buffer terminates approximately 115 feet north of the south property line. The west perimeter buffer must extend to the north line of the proposed 30 foot public utilities easement located along the south property line.

- j. The applicant must provide the following perimeter buffers and required landscaping materials:
- i. North property line: Type A, 5 foot wide buffer.
 - ii. East property line: Type A, 5 foot wide buffer.
 - iii. South property line: Type C, 10 foot wide buffer.

The applicant must identify on Sheet L-100 which Type A/C buffer option (Option 1, 2 or 3) has been selected and must also provide perimeter buffer landscaping calculations on Sheet L-100.

Outstanding Issues: The applicant has provided the necessary plant/fencing materials to meet the minimum standards for the north, east, and south perimeter buffers, however, the south perimeter buffer is located approximately 115 feet north of the south property line. The south perimeter buffer must be contiguous to the north line of the proposed 30 foot public utilities easement located along the south property line.

Fencing Standards

15. Section 6.3.3(B) states that fences in business districts shall not be permitted in front setback areas. The zoning of the property is Light and Warehouse Industrial (ILW), which requires a front setback of 15 feet. The fence located along the front property line must therefore be set back at least 15 feet from the property line in order to comply with Section 6.3.3(B.) The plans currently propose for fencing to be located no closer than 10 feet from the front property line. Revise the plans to comply with Section 6.3.3(B.)

Outstanding Issues: The applicant must verify that all fencing call outs and dimensions have been adjusted to reflect the revised location of fencing on Sheets C1.00 – C1.14.

Lighting Standards

21. To demonstrate compliance with Section 6.4.4(C), provide the maximum initial lamp lumens for each luminaire type utilized on the site.

Outstanding Issues: Fixture wattage/initial lumen data has not been provided in General Note 3, Sheets E-101A and E-101B, as noted in the applicant's response letter dated August 5, 2013. Provide fixture wattage/initial lumen data in General Note 3, Sheets E-101A and E-101B.

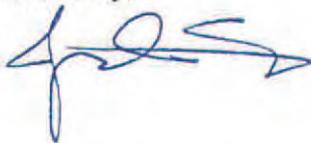
Consistency with Other LDR Standards

22. To demonstrate compliance with the standards for outdoor storage as an accessory use provided in Section 4.4.4(E), the applicant must provide detail of the screening surrounding the mechanical yard. Such detail must include, at a minimum, an architectural elevation depicting the area of and surrounding the mechanical yard, and must identify the height of such screening materials and the materials located within the yard.

Outstanding Issues: The applicant must identify the height of all materials located within the mechanical yard, including but not limited to the chiller, cooling towers, and generator. The applicant must verify that the mechanical yard wall detail provided on Sheet A-403 depicts the height of the wall in all areas surrounding the mechanical yard (the west building elevation shown on Sheet A-403 appears to depict the wall at approximately 6 feet in height along a portion of the west perimeter of the mechanical yard.)

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

cc: Kathy Winburn, AICP, Planning & Community Development Director
Brandon Stubbs, Planner
Donnie Ellington, Nanotherapeutics, Inc. (by electronic mail)
Robert Walpole, PE, LEED AP, Causseaux, Hewett, & Walpole, Inc. (by electronic mail)
Daniel Young, PE, LEED AP, Causseaux, Hewett, & Walpole, Inc. (by electronic mail)
Project File



City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

INTER-OFFICE COMMUNICATION

Date: August 7, 2013

To: Mike New, P.E.
Public Services Director

Through: Kathy Winburn, AICP
Planning & Community Development Director

From: Justin Tabor, AICP *JT*
Principal Planner

Re: Revised Site Plan: Nanotherapeutics ADM Facility

Please find attached to this memorandum one (1) copy of the revised Site Plan and application materials for the Nanotherapeutics ADM Facility.

This item is scheduled to be presented to the Planning & Zoning Board at its September 10, 2013 meeting. In order for this project to remain on schedule, *please review the revised plan set and materials and provide confirmation that the comments provided in your memorandum dated July 23, 2013 have been sufficiently addressed **no later than August 15, 2013.***

AUG 05 2013

Gina Goodyear

Per _____

From: Bill TenBroeck <btenbroeck@alachuacounty.us>
Sent: Thursday, August 01, 2013 7:54 AM
To: Gina Goodyear
Subject: RE: Address for Nanotherapeutics ADM - Alachua, Florida

Hi Gina.

Just wanted to update you. Since the road into the property does not have a street name yet, our department has to do that also, and that becomes the first step. Keith is handling that, so once that is taken care of, I'll be able to proceed. We are closed tomorrow (We work M-TH), so I'll be in touch again Monday with an update.

Thanks,

Bill

From: Gina Goodyear [<mailto:GinaG@chw-inc.com>]
Sent: Tuesday, July 30, 2013 3:45 PM
To: Bill TenBroeck
Subject: RE: Address for Nanotherapeutics ADM - Alachua, Florida

Ok and let me know if you need any other info.

GINA GOODYEAR

Project Coordinator

.....
CAUSSEAU, HEWETT, & WALPOLE, INC.
t: (352) 519-5915 • o: (352) 331-1976
www.chw-inc.com • ginag@chw-inc.com

Gainesville: 132 NW 76th Dr. Gainesville, FL 32607
Ocala: 101 NE 1st Ave., Ocala, FL 34470

.....
focused on excellence • delivered with integrity



From: Bill TenBroeck [<mailto:btenbroeck@alachuacounty.us>]
Sent: Tuesday, July 30, 2013 3:44 PM
To: Gina Goodyear
Subject: RE: Address for Nanotherapeutics ADM - Alachua, Florida

Sure thing. I'll need to track down the road name thing first. I'll be in touch.

Cheers,

Bill

From: Gina Goodyear [<mailto:GinaG@chw-inc.com>]
Sent: Tuesday, July 30, 2013 3:40 PM
To: Bill TenBroeck
Cc: Daniel Young
Subject: Address for Nanotherapeutics ADM - Alachua, Florida

Hi Bill,

This is a project that we working on in the City of Alachua. It is located in the Copeland Industrial Park, west of 126th Terrace.

Tax Parcel 03927-000-011-000 and a portion of 03927-000-000.

The City provided comments to us on 7/22 and one of the comments pertained to addressing.

"The street located within 60' ingress / egress and public utilities easement does not have an official Alachua County E911 street name. The applicant shall coordinate with the Alachua County E911 office to assign a street name to the roadway and provide documentation to City Staff."

The Asst. City Manager mentioned that 1 Nanotherapeutics Parkway had been provided? Not sure about this. Can you check into this for me and let me know?

Thank you, I appreciate your help!

GINA GOODYEAR

Project Coordinator

.....
CAUSSEAU, HEWETT, & WALPOLE, INC.

t: (352) 519-5915 • o: (352) 331-1976

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.....
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City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

INTER-OFFICE COMMUNICATION

Date: August 7, 2013

To: Mike New, P.E.
Public Services Director

Through: Kathy Winburn, AICP
Planning & Community Development Director

From: Justin Tabor, AICP *JT*
Principal Planner

Re: Revised Site Plan: Nanotherapeutics ADM Facility

Please find attached to this memorandum one (1) copy of the revised Site Plan and application materials for the Nanotherapeutics ADM Facility.

This item is scheduled to be presented to the Planning & Zoning Board at its September 10, 2013 meeting. In order for this project to remain on schedule, *please review the revised plan set and materials and provide confirmation that the comments provided in your memorandum dated July 23, 2013 have been sufficiently addressed **no later than August 15, 2013.***



Focused on Excellence
Delivered with Integrity

August 5, 2013

Kathy Winburn
Office of Planning and Zoning
City of Alachua
PO Box 9
Alachua, FL 32615

RE: Nanotherapeutics Advanced Development & Manufacturing Facility

Dear Ms. Winburn:

Please find the following enclosed for review and approval for the above referenced project:

- Three (3) Application Packages;
- Three (3) SRWMD Permit and Design Notes;
- Three (3) Sets Revised Development Plans;
- Three (3) Emails Correspondence with E911;
- One (1) Public Works Mark-ups; and
- One (1) CD Containing All PDFs.

Easements/Legal Access Issues

1. The subject property is provided access by a 60 foot wide ingress, egress and public utilities easement. This easement is recorded in the public records of Alachua County as Exhibit "B" to the deed of Parcel #03927-000-000, as recorded in O.R. Book 3416, Page 742. The applicant must:
 - a. Prepare documentation which will vacate the portion of the easement located within the plan's project area and provide such documentation to the City for review, approval, and acceptance.
 - **Easement documents are being prepared and will be submitted under separate cover.**
 - b. Prepare an ingress/egress easement and public utilities easement for the land which consists of the proposed cul-de-sac and provide such documentation to the City for review, approval, and acceptance.
 - **Easement documents are being prepared and will be submitted under separate cover.**

These documents must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such documentation shall be incurred by the applicant.

- **Acknowledged.**

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2. A number of public utilities easements located within the project area and parent parcel are unrecorded. The applicant must provide draft easements for review and approval of all unrecorded easements within the project area and parent parcel. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
 - **Easement documents are being prepared and will be submitted under separate cover.**
3. Prepare documentation for all proposed public utilities easements and provide such documentation to the City for review and approval. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
 - **Easement documents are being prepared and will be submitted under separate cover.**
4. The street located within the 60 foot ingress/egress and public utilities easement does not have an official Alachua County E911 street name. The applicant shall coordinate with the Alachua County E911 office to assign a street name to the roadway and provide documentation to City staff.
 - **Alachua County E911 has been contacted in regards to addressing the project and street. Further coordination is ongoing. Please refer to the attached emails for details.**

Parking/Traffic/Circulation Standards

5. Section 6.1.4(D) requires all development with off-street parking lots with 100 or more parking spaces to provide bicycle parking facilities at a rate of one space for every 1,000 square feet of building area, located within 50 linear feet of the building's main entrance. The applicant must:
 - a. Address compliance with Section 6.1.4(D).
 - **The project is compliant with Section 6.1.4 (D) regarding bicycle parking facilities. Refer to the plans for details.**
 - b. Indicate the location of required bicycle parking on the plans in a location which meets the criteria of the referenced section.
 - **The location of the bicycle parking has been provided. Refer to C1.00 for details.**
 - c. Provide typical detail of the bicycle racks which will be utilized within the plan set.

- **Refer to the Landscaping plans for the bicycle rack detail.**
- d. Revise bicycle parking calculations on Sheet C0.00.
- **Bicycle parking calculations have been revised. Refer to C0.00 for details.**
6. Section 6.1.5(C) requires certain uses, including research and industrial plants and other similar uses, to provide off-street loading. Given the floor area of the proposed development, Table 6.1-2 requires 4 off street loading spaces for the project. The applicant must address compliance with Table 6.1-2 by dimensioning the loading spaces on the plans. Section 6.1.7(B) requires loading spaces to provide an area of 12 feet by 30 feet, exclusive of platforms or piers, and a clear vertical dimension of 14 feet.
- **Off Street Loading areas have been provided. Refer to C1.00 for details.**
7. Section 6.1.10 requires pedestrian pathways to be provided in parking lots with 100 or more spaces. Such pathways must provide pedestrian crosswalks which are at least 10 feet in width, either raised above the adjacent pavement, striped, or otherwise designated through the use of alternative materials, and must be located between all primary building entrances and the parking areas serving those entrances. The parking lot design does not comply with the aforementioned standard. Revise all crosswalks to comply accordingly.
- **A 10' Pedestrian Striped Crosswalk has been provided. Please refer to C1.14 for details.**
8. To ensure safe and adequate pedestrian circulation, the following modifications are necessary to the pedestrian circulation design:
- a. A crosswalk is necessary to connect the sidewalks located on the north and south sides of the entry drive aisle, immediately east of the circular driveway in front of the building's main entrance.
- **The sidewalk connections have been provided, as discussed at the DRT meeting. Refer to C1.00 plan series for details.**
- b. The sidewalk along the south side of the entry drive aisle must be extended to the security gate and a crosswalk linking the sidewalks on both sides of the drive aisle must be included to provide a pedestrian connection to the sidewalk currently terminating adjacent to the security gate.
- **The sidewalk terminating adjacent to the security gate has been removed and therefore a cross walk is not required. Refer to C1.00 plan series for details.**
9. To eliminate conflicts between vehicular and pedestrian circulation areas, wheel stops or curbing must be provided along the most southern row of parking spaces.

- All sidewalks adjacent to the parking are raised per the detail on C2.30, except in the handicap parking area which parking stops have been provided. Refer to C1.00 Series for details.

Landscaping Standards

10. Revise the Landscape Plan/calculations as follows:

Site Landscaping [Section 6.2.2(D)(1)(c)]:

- a. Sides and rear canopy trees provided: The Landscape Plan does not provide a sufficient number of canopy trees to meet the minimum number required on the south side of the building (a minimum of 56 is required.) (NOTE: The Landscape Plan may comply with this standard once the plans are revised to address other comments in this report, specifically perimeter buffer requirements.)
 - **Acknowledged. Please see revised plans for additional trees.**
- b. Building façade canopy trees required/provided: Calculations have been provided for the front façade. Calculations must also be provided for all other building facades. Identify the number of trees required (approximately 16 on the south elevation, 15 on the west elevation, and 19 on the north elevation) and the number provided for all other facades. Canopy trees required pursuant to this provision must be in addition to the minimum number of trees required by the site's overall acreage.
 - **Acknowledged. Please see revised plans for additional trees.**
- c. Site understory trees required/provided: Identify number of trees required and the number provided on each side of the building [25% of the site's required understory trees (a minimum of 42 trees on each side) must be provided on each side.]
 - **Acknowledged. Please see revised calculations and plans.**
- d. Site understory trees provided: The Landscape Plan does not provide a sufficient number of understory trees to meet the minimum number required on the north and south sides of the building. There are 28 understory trees provided on the north side of the building (42 required) and 13 understory trees provided on the south side of the building (42 required.) (NOTE: The Landscape Plan may comply with this standard once the plans are revised to address other comments in this report, specifically perimeter buffer requirements.)
 - **Acknowledged. Please see revised calculations and plans.**
- e. State that a row of shrubs has been provided on all facades of the structure.
 - **Acknowledged. Please see revised L-100.**

Parking Lot Interior Landscaping [Section 6.2.2(D)(2)(a)]:

- f. The Landscape Plan provides 32 trees and 324 shrubs within the parking lot interior area. A minimum of 39 trees and 390 shrubs is required.
- **Acknowledged. Additional trees and shrubs have been provided per comment and per additional parking lot area increase. Please see revised plans.**

Parking Lot Perimeter Landscaping [Section 6.2.2(D)(2)(b)]:

- g. The applicant has provided parking lot perimeter buffer landscaping meeting the requirements of this section along the north and south perimeter of the parking lot, however, landscaping to meet this requirement along the east and west perimeters of the parking lot has not been provided. Provide 4 canopy trees per 100 lineal feet, 2 understory trees per 100 lineal feet, and a continuous row of shrubs along the east and west parking lot perimeters.
- **Acknowledged. Additional canopy trees, understory trees and a continuous row of shrubs have been provided along the east and west parking lot perimeters.**
- h. Revise parking lot perimeter buffer calculations to include the length of the east and west parking lot perimeters.
- **Buffer calculations have been revised to include east & west perimeter linear feet.**

Perimeter Buffer [Section 6.2.2(D)(3)]:

- i. The applicant has utilized the correct west perimeter buffer (Type D, 20 feet wide), and has chosen an Option 3 buffer. Option 3 requires one fence or wall plus one canopy tree every 20 linear feet. The Type D buffer is intended to function as an opaque screen from the ground to a height of at least 6 feet, providing a strong sense of total separation between uses. The fencing material proposed along the west property line does not provide an opaque screen between the subject property and properties contiguous to the west. The applicant must either: (1) select another screening option type for the west perimeter buffer, or (2) utilize a fencing material which meets the requirement of the Option 3 buffer and provides an opaque screen between the subject property and the contiguous properties.
- **Acknowledged. Applicant has chosen to use option 1 & has provided an evergreen hedge. Please see revised plans.**
- j. The applicant must provide the following perimeter buffers and required landscaping materials:
- i. North property line: Type A, 5 foot wide buffer.
 - ii. East property line: Type A, 5 foot wide buffer.
 - iii. South property line: Type C, 10 foot wide buffer.

The applicant must identify on Sheet L-100 which Type A/C buffer option (Option 1, 2 or 3) has been selected and must also provide perimeter buffer landscaping calculations on Sheet L-100.

- **Acknowledged. Please see revised plans.**

k. The applicant must address the conflict between the west perimeter buffer and the existing/unrecorded and proposed public utilities easements along the west property line. Consideration must also be given to the location of the north perimeter buffer and existing/proposed easements along the north property line.

- **Acknowledged. Conflict has been resolved. Please see revised plans.**

Service Area Screening [Section 6.2.3(C)]:

l. Service areas must be screened with either a solid fence at least six feet in height or landscaped using evergreen materials capable of providing a substantially opaque barrier and attaining a minimum height of six feet within three years of planting. Provide screening materials around the entire perimeter of the paved service area located west of the building.

- **Acknowledged. An evergreen hedge has been provided. Please see revised plans.**

Plant Size [Section 6.2.2(D)(8)]:

m. All shrubs must be a minimum of 24 inches in height at the time of planting. The Landscape Schedule on Sheet L-150 indicates that certain planting materials (IS, VO) do not comply with this standard. Revise the planting schedule accordingly.

- **Acknowledged. Please see revised L-150. Existing Landscaping [Section 6.2.2(C)]:**

n. The Landscape Plan must identify all existing trees by common name. Revise the sheets with existing trees (L-101, L-104, L-107, and L-108) accordingly.

- **Acknowledged. Please see revised plans.**

11. Sheet L-100 provides the specifications for waste receptacle screening. This information is not required on the Landscape Plan unless the applicant chooses to utilize landscaping materials to screen an outdoor waste receptacle. The plans currently do not identify any outdoor waste receptacle storage areas. If no outdoor waste receptacle storage areas are proposed for the development, the specification pertaining to such areas on Sheet L-100 is not applicable to the plans and should therefore be removed.

- **Acknowledged. Please see revised L-100.**

12. Sheet L-100 states that the minimum landscaped area required is 20%. The minimum required landscaped area, per Policy 2.4.1 of the Future Land Use Element, is 30%. Revise the minimum landscaping note and open space notes accordingly.

- **Acknowledged. Please see revised L-100.**

13. The percentage of the total proposed open space/landscape area was not provided under the associated note on Sheet L-100. Revise the note accordingly.

- **Acknowledged. Please see revised plans for notes.**

14. Section 6.2.2(D)(6)(b)(vi) requires an irrigation system to be used for landscaped areas. Provide an irrigation plan in the plan set or a note within the landscape plan indicating that the project's landscaped areas will be irrigated in accordance with Section 6.2.2(D)(6)(b)(vi.)

- **Acknowledged. Please see irrigation note on plans sheets L-101 through L-108.**

Fencing Standards

15. Section 6.3.3(B) states that fences in business districts shall not be permitted in front setback areas. The zoning of the property is Light and Warehouse Industrial (ILW), which requires a front setback of 15 feet. The fence located along the front property line must therefore be set back at least 15 feet from the property line in order to comply with Section 6.3.3(B.) The plans currently propose for fencing to be located no closer than 10 feet from the front property line. Revise the plans to comply with Section 6.3.3(B.)

- **Acknowledged. Fencing layout has been revised. Please see revised plans.**

Lighting Standards

16. Section 6.4.5(A)(1) requires lighting fixtures to be no more than 25 feet in height. Keynote 1 on Sheet E-101B states that loading dock lighting is mounted on 30 foot poles due to the overall size of loading dock area. Pole mounted lighting, including luminaires within the loading dock area, must comply with the height standards provided in Section 6.4.5(A)(1.) Revise the height of lighting within the loading dock area to comply with the referenced provision.

- **Acknowledged. Please see revised plans sheets E-101A, E-101B. All pole mounted fixtures do not exceed 25ft in height.**

17. Keynote 1 on Sheet E-101B states that wall-mounted luminaires at the loading dock are mounted at 25 feet above finished grade. Section 6.4.5(A) states that lighting fixtures other than lighting for architectural purposes, whether mounted on poles or walls or by other means, shall be no more than 15 feet high, except for lighting in parking lots with 100 or more spaces or within historic districts. Revise the height of wall-mounted luminaires to comply with the referenced provision, and verify that wall-

mounted luminaires comply with the specific criteria applicable to wall mounted lights as provided in Section 6.4.4(A.)

- **Acknowledged. Please see revised plans sheets E-101B. Wall mounted fixture do not exceed 15ft in height.**

18. Note 1, General Notes, on Sheet E-101A states that wall-mounted luminaires are to be fully shielded. Provide detail of luminaire shielding on a typical detail of all wall-mounted luminaire types utilized on the site.

- **Acknowledged. Please see revised plans sheets E-101B for detail.**

19. Section 6.4.4(B)(1) states that no light source shall be directed outward toward property boundaries or adjacent right-of-ways. There are 4 luminaires located at the project's ingress/egress points which do not comply with the referenced provision. Remove/reposition these luminaires to comply with Section 6.4.4(B)(1.)

- **Acknowledged. Please see revised plans sheets E-101A.**

20. To demonstrate full compliance with Sections 6.4.4 and 6.4.5, provide a standard detail for all luminaire types and dimension the height of all luminaire types.

- **Acknowledged. Please see revised plans sheets E-101A, E-101B for pole and wall mounted details with dimensions.**

21. To demonstrate compliance with Section 6.4.4(C), provide the maximum initial lamp lumens for each luminaire type utilized on the site.

- **Acknowledged. Please see revised plans sheets E-101A, E-101B Site Lighting Photometric Statistics schedule providing Max for all areas to comply with 6.4.4(C) Maximum Horizontal Illumination.**
- **Refer to General Note 3 indicating luminaire types with fixture wattage identified as follows to comply with 6.4.4(D) maximum initial lamp lumens:**
 - **Fixtures:**
 - Type H1, H2, H3: 80 Watts (Initial lumens 7,860)
 - Type H4, H7: 130 Watts (Initial lumens 13,009)
 - Type H5: 55 Watts (Initial lumens 4,563)
 - Type H6: 75 Watts (Initial lumens 4,546)

Consistency with Other LDR Standards

22. To demonstrate compliance with the standards for outdoor storage as an accessory use provided in Section 4.4.4(E), the applicant must provide detail of the screening surrounding the mechanical yard. Such detail must include, at a minimum, an architectural elevation depicting the area of and surrounding the mechanical yard, and must identify the height of such screening materials and the materials located within the yard.

- **The architectural elevations have been revised to depict the screening of the mechanical yard. Please refer to revised architectural elevations for details.**
23. Sheet C1.14 notes the location of a future guard house. Staff suggests that the location and dimensions of the future guard house be shown on this site plan. Any future addition of a guard house would otherwise require future site plan/minor site plan review and approval. (NOTE: Should the applicant choose to include the location and dimensions of the future guard house on this site plan, a building permit must be obtained for the guard house within three years of the date of the approval of this site plan. If a building permit has not been obtained within this time period, the property owner will be required to obtain site plan/minor site plan approval for the guard house.)
- **The future guard house has been shown and dimensioned on the site plan. Please refer to C1.14 for details.**
24. The applicant has provided a memorandum from Daniel Young, PE, which indicates that the project complies with the existing permit and design approved by the Suwannee River Water Management District (SRWMD.) The applicant must provide a letter of exemption from SRWMD which indicates that the proposed development complies with the approved permit.
- **Currently the project is under review with SRWMD. Once a copy of the letter modification permit is received a copy will be provided to the City for their record.**

Architectural Plans

25. Note 1 on Sheet C0.00 indicates that the building footprint area is 128,673 square feet, but that the building consists of a total of 153,000 square feet. The architectural floor plan does not show the mezzanine level. Revise the architectural plans to show all floors/levels of the building.
- **All floors of the proposed building have been added to the plans. Refer to the architectural floor plans for details.**
26. The elevations on Sheet A4.02 appear to be incorrectly labeled: The elevation which appears to be the East elevation is labeled as North; The elevation which appears to be the North elevation is labeled as West; The elevation which appears to be the West elevation is labeled as South; The elevation which appears to be the South elevation is labeled as East. Verify elevation labels are correct.
- **The elevation labeling has been revised. Refer to the revised architectural elevations for details.**
27. Revise the plans to include a color architectural elevation (Sheet A4.02.)
- **As discussed at the DRT, the shadowing has been removed. Refer to the revised architectural elevations.**

Concurrency Impact Analysis

28. Section 2.4.14(H) of the City's LDRs defines the affected roadway segments for a development generating less than or equal to 1,000 external average daily trips as those roadway segments located wholly or partially within one-half mile of the development's ingress/egress, or to the nearest intersecting major street. Policy 1.1.a of the Transportation Element identifies County-maintained collectors, including County Road 2054, as roadways monitored for concurrency. For this development, the only affected roadway segment is County Road 2054 West (from SR 235 to US Highway 441.) Revise the Concurrency Impact Analysis accordingly.
- **From our discussion with City staff, we understand the only impacted roadway segment to be County Road 2054 East (from SR 235 to US 441). US 441 has been removed from our analysis because the access point to US 441 falls outside the ½ mile radius from our project access. The Concurrency Impact Analysis and associated map have been revised to reflect these changes.**
29. The applicant has based solid waste generation upon a floor area of 135,000 square feet. The correct floor area, per the plans, is 153,000 square feet. Revise the solid waste demand calculations accordingly.
- **The building square footage has been revised to 165,000 sq. ft. throughout the Concurrency Impact Analysis. All related calculations have also been revised.**
30. The applicant has provided information which indicates that the total daily potable water demand shall be approximately 70,000 gallons (47,000 gallons from sanitary sewer load, plus 21,600 gallons from evaporation from cooling towers, plus 1,000 gallons from human process/consumption.) This data must be incorporated into the Concurrency Impact Analysis.
- **The additional information regarding potable water demand has been added to Table 4 of the Concurrency Impact Analysis.**

Comprehensive Plan Consistency Analysis

31. The applicant's responses to Policies 1.4.f.8. and 2.4.2 of the Future Land Use Element state that a buffer along the southern boundary will not likely be required, however, a perimeter buffer is required by Table 6.2-2 of the LDRs. Revise the Concurrency Impact Analysis accordingly.
- **Consistency statements for FLUE Policies 1.4.f.8 and 2.4.2 have been revised to include descriptions for required buffers along the northern, eastern, and southern boundaries. Also, all other sections regarding perimeter buffers have been revised accordingly.**

32. In response to Objective 9.1 of the Future Land Use Element and Objective 1.2 and Policy 4.2.a of the CFNGAR Element, the applicant states that the Public Services Department has issued an "Ability to Serve" letter. Reference the date of the letter and include the letter as an exhibit to the Comprehensive Plan Consistency Analysis.
- **The Ability to Serve letter was issued on July 15, 2013. The Comprehensive Plan Consistency Analysis has been revised as requested and the Ability to Serve letter has been included as Attachment C to the document.**
33. The applicant's response to Policy 1.3.a of the Future Land Use Element states that the site plan includes 153 parking spaces, however, the plans indicate 191 parking spaces are proposed. Revise accordingly.
- **The development plans now show a total of 165 parking spaces to meet the 1 space per 1,000 sq. ft. standard for the 165,000 sq. ft. building. While the maximum number of allowed spaces is calculated on the cover sheet, this is not the number of parking spaces provided on the actual Master Site Plan and Detailed Horizontal Control and Site Plan sheets. The maximum number of allowed spaces is provided for information only.**

Public Services / Outside Engineering Review Comments

34. The applicant must address the comments provided by Sergio Reyes, P.E., of Eng, Denman & Associates, Inc., in a letter dated July 12, 2013.
- **Acknowledged.**
35. The applicant must comply with all comments provided by Mike New, P.E., Public Services Director. Comments will be provided separately in a memorandum from Mr. New.
- **Acknowledged.**

Miscellaneous/General Issues

36. The dimensions of the structure, minimum building setbacks, and the distance between the structure and property lines must be shown on the site plan.
- **Dimensions to the structure and buildings setbacks have been shown. Refer to C1.00 for details.**
37. If any outdoor waste receptacles are proposed, the location of such receptacles and detail of receptacle screening must be shown on the site plan.
- **There are no outdoor waste receptacles. All solid waste is stored eternal to the building.**

38. There are numerous inconsistencies in the building's size throughout the application materials (129,673 square foot building, 153,000 square foot building, etc.) The applicant must resolve all inconsistencies within the application materials.
 - **The inconsistencies have been revised the building foot print is 128,000sf and floor area is 165,000sf. Refer to the plans for details.**
39. Sheet 0.00: Revise document title as follows: Preliminary/Final Development Plans.
 - **The title has been revised. Refer to C0.00 for details.**
40. Sheet 0.00, Note 8: There is a typographical error in the first line.
 - **The typographical error has been revised. Refer to C0.00 for details.**
41. Sheet 0.00, Sheet Index: Correct typographical errors (C2.3X, A-#.)
 - **The typographical errors have been revised. Refer to C0.00 for details.**
42. Sheet C0.10, General Notes, Note 14: Remove reference to Alachua County Environmental Protection Department.
 - **The Alachua County EPD reference has been revised to City of Alachua or Engineer of Record. Refer to C0.10 for details.**
43. Sheet C0.10, Paving, Grading, and Drainage Notes, Note 8: Change reference from Alachua County Public Works Department to City of Alachua Public Services Department.
 - **The Note 8 has been revised as requested. Please refer to C0.10 for details.**
44. Numerous references are made throughout the plans to reference the architectural plans for fencing detail. Such references must be revised to reference the correct plan sheet (L3.51.)
 - **Reference has been revised for on the civil sheets to refer to the landscapce plans for fencing details.**
45. Sheet C2.10: A reference is made in the area of the mechanical yard to refer to MEP plans. No such details have been provided in the plan set. Remove the reference or include referenced details in the plan set.
 - **The Mechanical yard is only shown for informational purposes. The label has been revised. Refer to C2.10 for the note.**
46. Bicycle parking calculations are provided on Sheets C0.00 and L-100. Remove bicycle parking calculations from Sheet L-100 to eliminate redundancy and reduce potential conflicts within the plans.

- **Bicycle parking calculations have been removed from the landscaping sheets. Refer to C0.00 for details.**

47. Sheet L-303: Correct plan sheet references.

- **Sheet reference has been corrected. Refer to L-303 for details.**

Public Services

1. General

- Site survey identifies public utilities easements (PUE) on the project site that have not been recorded. All PUEs on the project site must be recorded prior to commencement of work.
 - **Acknowledged. Easement documents are being prepared and will be submitted under separate cover.**
- Applicant shall provide the easement for onsite utilities documents to the City for review and recording prior to commencing site work. Typical easement widths are as follows:
 - Electric: 20 ft.
 - Water: 20 ft.
 - Wastewater: 20 ft.
 - **Acknowledged. Easement documents are being prepared and will be submitted under separate cover.**
- Ingress / egress easements and PUEs shown on the project site that will conflict with the project site must be vacated.
 - **Acknowledged. Easement documents are being prepared and will be submitted under separate cover.**
- Provide 30 ft wide PUE along southern project property line (reclaimed water main, future wastewater force main).
 - **A 30' wide PUE has been provided as requested. Refer to C3.00 for details.**
- Staff understands that the roadway serving the project will be dedicated to the City prior to completion of the project. Dedication application requires certification by a professional engineer that the roadway is constructed to the City's minimum roadway standards and a valuation of the infrastructure proposed for conveyance. The City will provide the applicant with certified cost forms to use in this process.
 - **Acknowledged.**

- Landscaping plan reveals conflicts between plantings and utility infrastructure, especially long the west property line. Revise landscaping plans to permit the following clearance adjacent to City maintained utility infrastructure.
 - Electric: 10 ft.
 - Water: 10 ft.
 - Wastewater: 15 ft.
- **Landscaping conflicts have been revised. The requested clearances have been maintained. Please see revised plans.**
- Limit landscaping of PUEs to grassing and shrubs. No trees in PUEs.
 - **All proposed trees have been removed from the PUEs.**
- Provide overlay of City maintained infrastructure on landscaping plan to verify landscaping will not interfere with access to utility infrastructure.
 - **Utilities have been overlaid on landscape plan. Please see revised plans.**
- Consider amending location of perimeter landscaping and vegetation buffer to inset from property line, thus permitting room for PUEs and infrastructure maintenance by City staff.
 - **PUE and landscape buffer conflicts have been resolved. Please see revised plans.**
- See markup plans for additional comments. Please return markup plans with site plan revisions.
 - **Acknowledged.**

2. Electric

- Applicant has considered alternatives associated with supply of electric service. Applicant must confirm its electric system requirements. At present, the City plans to provide two (2) independent electric circuits (Circuits 1132 and 1133) to the project site. Per City policy, applicant is advised that cost for electric system extensions are charged to the applicant.
 - **Acknowledged. Please see revised plans sheets E-102 note 6.**
- Applicant shall provide electric load information to facilitate sizing of electric transformer and electric meter. Once this is provided the City will provide cost for electric service and additional details for meter installation.

- **Acknowledged. Please see revised plans sheets E-102 load calculations.**
- Site plan does not include plans for electric system infrastructure. Please submit electric system site plan identifying conduit location / size, electric facilities, transformer size / locations, auxiliary generator size / location, etc.
 - **Acknowledged. Please see revised plans sheets E-102 for utility transformer and Generator locations, all incoming service with size. Civil plans show primary electric for coordination purposes. Refer to C3.00 for details.**
- The City will invoice the applicant for the electric transformer, transformer pad, primary conductor, and electric meter can. Payment must be received before the City will order required materials.
 - **Acknowledged.**
- Provide 20 ft wide PUE Centered over primary electric conduit, transformer, and electric meter.
 - **Acknowledged. Refer to Civil Plans for Primary electrical. Refer to sheet E-102 for Transformer location. Meter location will be adjacent to transformer and shown under the Shell and Core package.**
- Applicant is advised that the City maintains an overhead electric system along its north property line. A PUE is required to provide the City with access to maintain these facilities.
 - **A PUE has been provided along the northern property new and existing utilities. Refer to C3.00 series for details.**
- Staff understands that project is sensitive to momentary interruptions in utility power service. Consideration of a UPS system sized for all critical circuits is strongly recommended.
 - **Acknowledged. UPS equipment will be provided for this project.**

3. Streets and Roads

- Applicant is advised that the proposed project entrance roadway currently does not have street lighting.
 - **Acknowledged.**
- Stormwater No Comments.

- **Acknowledged.**

4. Water

- The applicant requests a 4" water meter for domestic service for the main building and a 5/8" x 3/4" water meter for a proposed security building.
 - **Acknowledged. Water meter details have been added refer to C2.31 for details.**
- Applicant proposes and shall provide reduced pressure zone (RPZ) backflow preventer on both potable water connections (applicant's side of the water meter).
 - **Acknowledged. RPZ have been added to the plans. Refer to C2.3, C3.11 and C3.12.**
- Applicant proposes an 8", City maintained, looped water main on the project site. See Attached markup drawings. Staff recommends connection to the existing 8" water main located at the northwest corner of the proposed project site and extending the water main along the northern property line to intersect with the existing 8" water main located on the western property line. Staff prefers not to maintain a looped water main system on site.
 - **As discussed a water main is proposed along the northern property line outside of the fenced area. Refer to C3.00 for details.**
- Staff recommends the following
 - Relocate the proposed 4" domestic water meter to the eastern property line at the proposed cul-de-sac.
 - **As discussed, the 4" water meter has been located along the northern water main. Refer to C3.00 series for details.**
 - Modify proposed fire line connected to a fire pump to include fire line meter (Sensus Omni F2) and back flow preventer.
 - **Per discussions during the meeting with Mr. Mike New 7/31/13, fire line meter will not be required if fire pump is tested only once a year discharging water to drain. Owner shall provide a letter describing the testing of the pump. The double detector check valve will be installed in the fire pump room within the building.**
 - Onsite fire hydrant loop can be connected to City maintained water main in two locations.
 - **Fire loop has been removed from plans.**
 - City maintained water system infrastructure shall be located outside the project perimeter fence (where possible).

- Agreed. Refer to C3.00 for details.
- Provide worksheet demonstrating that ISO fire flow requirements are achieved.
 - **ISO does not determine a needed fire flow for buildings rated and coded by ISO as protected by an automatic sprinkler system meeting applicable NFPA standards. Refer to Chapter 1 and 6 of ISO Guide for Determination of Needed Fire Flow.**

5. Wastewater

- Applicant shall provide a 4 ft diameter manhole at the property line adjacent to the proposed cul-de-sac. The proposed manhole demarks the end of the City's maintained wastewater system.
 - **Manhole has been added as requested. Refer to C3.12 for details.**
- Recommend providing separate wastewater plumbing for domestic only and process wastewater.
 - **As requested, domestic and process wastewater has been separated until they reach the proposed manhole. Refer to C3.12 for details.**
- Denote that first manhole on site is designated as a wastewater sample location.
 - **The first manhole on site has been designed as a sampling point. Refer to C3.12 for details.**
- Identify all compounds used on site with potential to enter the wastewater discharge. Identify the name, chemical makeup, concentration, storage container size, estimated volume stored on site at any time, and estimated daily discharge volume.
 - **A list identifying the compounds with the potential of entering the wastewater discharge is currently being prepared. A copy will be submitted once completed under separate cover.**
- Provide a narrative report explaining how pretreatment of industrial wastewater discharges will be accomplished.
 - **The Nanotherapeutics facility will generate several types of waste. Sanitary waste from the bathroom facilities as well as the laboratory facilities will be within regulatory pH and temperature requirements and be discharged directly to sanitary. Liquid waste from the manufacturing area is broken into two groups: Process Waste and Biowaste. Process**

waste from the manufacturing processes is generally made up of water and/or water based cleaning solutions. The pH of the process waste may vary so all process waste will be drained underground through a network of double-contained piping and collected in a sub-grade tank prior to being transferred to a continuous neutralization system. Liquid Biowaste will also be directed from the manufacturing operations through a dedicated network of double-contained underground piping lines to a sealed collection system. Once a pre-programmed volume of waste is collected, it will be pumped to an above-grade decontamination system where it will undergo a validated thermal kill using high-temperature, short-time decontamination cycles. Liquid waste from this thermal kill system will then be drained into the Process Waste Collection system referenced above. All process waste will be pumped to a two tank continuous pH adjustment system where the effluent will first equalize and then get neutralized using acid and caustic prior to being discharged to the public utility sanitary drain system. Target pH discharge range is 6-9.

Eng, Denman & Associates, Inc.

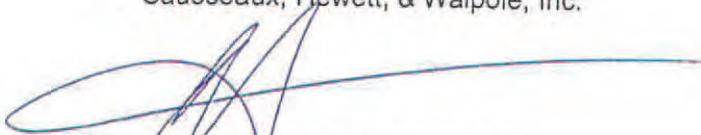
1. The application indicates that the proposed facility will be constructed in compliance with the existing SRWMD ERP. While this is acceptable, the applicant needs to provide the City a SRWMD ERP Exemption Letter (per Sec. 6.9.3(B)). In addition, please provide a copy of the original permit and drainage design notes (if available) to ensure that the existing piping system has capacity to accommodate the proposed improvements. Please note that because we do not have the drainage design notes for the stormwater collection to review, we have not been able to review and comment. If requested, EDA will review this additional information after received by the City.
 - **Copies of the original permit and drainage design calculations have been included in this resubmittal. Currently, the project's letter of modification permit is under review with SRWMD, once received a copy will be submitted to the City.**
2. There are two existing monitoring wells located at the SW portion of parcel 03927-011-000. Please indicate what measures will protect these wells during construction.
 - **The two existing monitoring wells are to be abandoned. Refer to C0.30 for details.**
3. Please be sure that the existing sanitary sewer manhole located west of the proposed cul-de-sac will not collect runoff from the surround area. Raise top of the manhole or re-grade around the manhole to avoid runoff into the sanitary manhole.
 - **The proposed manhole top has been raised to prevent runoff entering the sanitary manhole. Refer to C3.12 for details.**
4. Provide means of blow-off for the proposed water loop line. Provide blow-off assembly and sample point at the connection points.

- **Blow-offs and sample points have been added to the proposed water main at the connection points. Please refer to C3.10-C3.12 for details.**
5. Explain how the existing water system will remain in service during construction of the proposed water system. There are other facilities downstream that require service. Provide means of isolating proposed system from the existing system in case a problem is presented. Please provide additional valves at the connection point.
- **Per conversations with Mike New, at the City, the existing water main will be shut down for the installing of the proposed water main construction. Valves have been provided per Mike New's request.**
6. If bicycle parking is proposed, provide size, location and grading.
- **Bicycle parking calculations, details, location and grading have been provided. Refer to C0.00 for Calculations, Landscaping Sheets for details, C1.11 for location, and C2.11 for grading.**
7. If waste receptacles are provided, indicate size, screening, grading and means of access without conflicting with internal circulation.
- **There are no outdoor waste receptacles. All solid waste is stored eternal to the building. Access/turnaround are provided at the rear of the building.**
8. On Sheet C0.10, there are several references to Alachua County. As this project is located in the City of Alachua, this comment does not apply.
- **The references have been revised. Refer to C0.10 for details.**
9. On Sheet C0.10, a notes states that the MOT must be approved by FDOT. As there is no FDOT permitting required for this project, this note does not apply.
- **The references have been revised. Refer to C0.10 for details.**
10. On Sheet C0.10, a note state that a copy of the SRWMD permit shall be provided to the contractor. As this project does not propose such permit, this note does not apply.
- **A SRWMD letter of modification permit is required for the project. Once a copy is received it will be submitted to the contractor.**
11. Regarding the downspout connection detail on Sheet C2.30, please make the riser and pipe connection to the proposed water system the same size.
- **Downspout connection detail has been revised. Refer to C2.30 for details.**

Should you have any questions or require additional information, please do not hesitate to contact me at 352-519-5940 or daniel@chw-inc.com.

Sincerely,

Causeaux, Hewett, & Walpole, Inc.

A handwritten signature in blue ink, appearing to read 'Daniel H. Young', with a long horizontal flourish extending to the right.

Daniel H. Young, PE LEED AP
Project Manager



City of Alachua

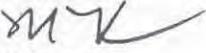
Traci L. Cain
City Manager

Mike New, PE
Public Services Director

INTER-OFFICE COMMUNICATION

Date: July 23, 2013

To: Kathy Winburn, AICP
Planning & Community Developer Director

From: Mike New, PE 
Public Services Director

Subject: Nano ADM Facility Site Plan Review Comments

I have reviewed the subject development and offer the following comments:

1. General

- Site survey identifies public utilities easements (PUE) on the project site that have not been recorded. All PUEs on the project site must be recorded prior to commencement of work.
- Applicant shall provide the easement for onsite utilities documents to the City for review and recording prior to commencing site work. Typical easement widths are as follows:
 - Electric: 20 ft
 - Water: 20 ft
 - Wastewater: 30 ft
- Ingress / egress easements and PUEs shown on the project site that will conflict with the project site must be vacated.
- Provide 30 ft wide PUE along southern project property line (reclaimed water main, future wastewater force main).
- Staff understands that the roadway serving the project will be dedicated to the City prior to completion of the project. Dedication application requires certification by a professional engineer that the roadway is constructed to the City's minimum roadway standards and a valuation of the infrastructure proposed for conveyance. The City will provide the applicant with certified cost forms to use in this process.
- Landscaping plan reveals conflicts between plantings and utility infrastructure, especially long the west property line. Revise landscaping plans to permit the following clearance adjacent to City maintained utility infrastructure:
 - Electric: 10 ft
 - Water: 10 ft
 - Wastewater: 15 ft
- Limit landscaping of PUEs to grassing and shrubs. No trees in PUEs.

- Provide overlay of City maintained infrastructure on landscaping plan to verify landscaping will not interfere with access to utility infrastructure.
- Consider amending location of perimeter landscaping and vegetation buffer to inset from property line, thus permitting room for PUEs and infrastructure maintenance by City staff.
- See markup plans for additional comments. Please return markup plans with site plan revisions.

2. Electric

- Applicant has considered alternatives associated with supply of electric service. Applicant must confirm its electric system requirements. At present, the City plans to provide two (2) independent electric circuits (Circuits 1132 and 1133) to the project site. Per City policy, applicant is advised that cost for electric system extensions are charged to the applicant.
- Applicant shall provide electric load information to facilitate sizing of electric transformer and electric meter. Once this is provided the City will provide cost for electric service and additional details for meter installation.
- Site plan does not include plans for electric system infrastructure. Please submit electric system site plan identifying conduit location / size, electric facilities, transformer size / locations, auxiliary generator size / location, etc.
- The City will invoice the applicant for the electric transformer, transformer pad, primary conductor, and electric meter can. Payment must be received before the City will order required materials.
- Provide 20 ft wide PUE centered over primary electric conduit, transformer, and electric meter.
- Applicant is advised that the City maintains an overhead electric system along its north property line. A PUE is required to provide the City with access to maintain these facilities.
- Staff understands that project is sensitive to momentary interruptions in utility power service. Consideration of a UPS system sized for all critical circuits is strongly recommended.

3. Streets & Roads

- Applicant is advised that the proposed project entrance roadway currently does not have street lighting.

4. Stormwater

- No comments.

5. Water

- The Applicant requests a 4" water meter for domestic service for the main building and a 5/8" x 3/4" water meter for a proposed security building.
- Applicant proposes and shall provide reduced pressure zone (RPZ) backflow preventer on both potable water connections (applicant's side of the water meter).

- Applicant proposes an 8", City maintained, looped water main on the project site. See attached markup drawings. Staff recommends connection to the existing 8" water main located at the northwest corner of the proposed project site and extending the water main along the northern property line to intersect with the existing 8" water main located on the western property line. Staff prefers not to maintain a looped water main system on site.
- Staff recommends the following:
 - Relocate the proposed 4" domestic water meter to the eastern property line at the proposed cul-de-sac.
 - Modify proposed fire line connected to a fire pump to include fire line meter (Sensus Omni F2) and back flow preventer.
 - Onsite fire hydrant loop can be connected to City maintained water main in two locations.
 - City maintained water system infrastructure shall be located outside the project perimeter fence (where possible).
- Provide worksheet demonstrating that ISO fire flow requirements are achieved.

6. Wastewater

- Applicant shall provide a 4 ft diameter manhole at the property line adjacent to the proposed cul-de-sac. The proposed manhole demarks the end of the City's maintained wastewater system.
- Recommend providing separate wastewater plumbing for domestic only and process wastewater.
- Denote that first manhole on site is designated as a wastewater sample location.
- Identify all compounds used on site with potential to enter the wastewater discharge. Identify the name, chemical makeup, concentration, storage container size, estimated volume stored on site at any time, and estimated daily discharge volume.
- Provide a narrative report explaining how pretreatment of industrial wastewater discharges will be accomplished.

Please advise me if you have questions or require additional information. Thanks.

c: Justin Tabor, Planner
Brandon Stubbs, Planner
File

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City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

July 23, 2013

Mr. James Matthew
Nanotherapeutics, Inc.
13859 Progress Boulevard
Suite 300
Alachua, FL 32615

RE: Development Review Team (DRT) Summary: Nanotherapeutics Advanced Development & Manufacturing Facility – Site Plan

Dear Mr. Matthew:

The application referenced above was reviewed at our April 18, 2013 Development Review Team (DRT) Meeting. Please address all insufficiencies outlined below in writing and provide an indication as to how they have been addressed by **4:00 PM on Monday, August 5, 2013**. A total of three (3) copies of the application package, plans, and a CD containing a PDF of all application materials and plans must be provided by this date.

Upon receipt of your revised application, Staff will notify you of any remaining insufficiencies which must be resolved before the item may be scheduled for a public hearing before the Planning & Zoning Board (PZB.) Please note that if Staff determines that the revised submission requires outside technical review by the City, your application may be delayed in order to allow for adequate review time. You must provide 13 *double-sided, three-hole punched sets* of each application package, 13 sets of plans, and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*.

As discussed at the DRT Meeting, please address the following insufficiencies:

Easements/Legal Access Issues

1. The subject property is provided access by a 60 foot wide ingress, egress and public utilities easement. This easement is recorded in the public records of Alachua County as Exhibit "B" to the deed of Parcel #03927-000-000, as recorded in O.R. Book 3416, Page 742. The applicant must:
 - a. Prepare documentation which will vacate the portion of the easement located within the plan's project area and provide such documentation to the City for review, approval, and acceptance.
 - b. Prepare an ingress/egress easement and public utilities easement for the land which consists of the proposed cul-de-sac and provide such documentation to the City for review, approval, and acceptance.

These documents must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such documentation shall be incurred by the applicant.

2. A number of public utilities easements located within the project area and parent parcel are unrecorded. The applicant must provide draft easements for review and approval of all unrecorded easements within the project area and parent parcel. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
3. Prepare documentation for all proposed public utilities easements and provide such documentation to the City for review and approval. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
4. The street located within the 60 foot ingress/egress and public utilities easement does not have an official Alachua County E911 street name. The applicant shall coordinate with the Alachua County E911 office to assign a street name to the roadway and provide documentation to City staff.

Parking/Traffic/Circulation Standards

5. Section 6.1.4(D) requires all development with off-street parking lots with 100 or more parking spaces to provide bicycle parking facilities at a rate of one space for every 1,000 square feet of building area, located within 50 linear feet of the building's main entrance. The applicant must:
 - a. Address compliance with Section 6.1.4(D).
 - b. Indicate the location of required bicycle parking on the plans in a location which meets the criteria of the referenced section.
 - c. Provide typical detail of the bicycle racks which will be utilized within the plan set.
 - d. Revise bicycle parking calculations on Sheet C0.00.
6. Section 6.1.5(C) requires certain uses, including research and industrial plants and other similar uses, to provide off-street loading. Given the floor area of the proposed development, Table 6.1-2 requires 4 off street loading spaces for the project. The applicant must address compliance with Table 6.1-2 by dimensioning the loading spaces on the plans. Section 6.1.7(B) requires loading spaces to provide an area of 12 feet by 30 feet, exclusive of platforms or piers, and a clear vertical dimension of 14 feet.
7. Section 6.1.10 requires pedestrian pathways to be provided in parking lots with 100 or more spaces. Such pathways must provide pedestrian crosswalks which are at least 10 feet in width, either raised above the adjacent pavement, striped, or otherwise designated through the use of alternative materials, and must be located between all primary building entrances and the parking areas serving those entrances. The parking lot design does not comply with the aforementioned standard. Revise all crosswalks to comply accordingly.
8. To ensure safe and adequate pedestrian circulation, the following modifications are necessary to the pedestrian circulation design:

- a. A crosswalk is necessary to connect the sidewalks located on the north and south sides of the entry drive aisle, immediately east of the circular driveway in front of the building's main entrance.
 - b. The sidewalk along the south side of the entry drive aisle must be extended to the security gate and a crosswalk linking the sidewalks on both sides of the drive aisle must be included to provide a pedestrian connection to the sidewalk currently terminating adjacent to the security gate.
9. To eliminate conflicts between vehicular and pedestrian circulation areas, wheel stops or curbing must be provided along the most southern row of parking spaces.

Landscaping Standards

10. Revise the Landscape Plan/calculations as follows:

Site Landscaping [Section 6.2.2(D)(1)(c)]:

- a. Sides and rear canopy trees provided: The Landscape Plan does not provide a sufficient number of canopy trees to meet the minimum number required on the south side of the building (a minimum of 56 is required.) (NOTE: The Landscape Plan may comply with this standard once the plans are revised to address other comments in this report, specifically perimeter buffer requirements.)
- b. Building façade canopy trees required/provided: Calculations have been provided for the front façade. Calculations must also be provided for all other building facades. Identify the number of trees required (approximately 16 on the south elevation, 15 on the west elevation, and 19 on the north elevation) and the number provided for all other facades. Canopy trees required pursuant to this provision must be in addition to the minimum number of trees required by the site's overall acreage.
- c. Site understory trees required/provided: Identify number of trees required and the number provided on each side of the building [25% of the site's required understory trees (a minimum of 42 trees on each side) must be provided on each side.]
- d. Site understory trees provided: The Landscape Plan does not provide a sufficient number of understory trees to meet the minimum number required on the north and south sides of the building. There are 28 understory trees provided on the north side of the building (42 required) and 13 understory trees provided on the south side of the building (42 required.) (NOTE: The Landscape Plan may comply with this standard once the plans are revised to address other comments in this report, specifically perimeter buffer requirements.)
- e. State that a row of shrubs has been provided on all facades of the structure.

Parking Lot Interior Landscaping [Section 6.2.2(D)(2)(a)]:

- f. The Landscape Plan provides 32 trees and 324 shrubs within the parking lot interior area. A minimum of 39 trees and 390 shrubs is required.

Parking Lot Perimeter Landscaping [Section 6.2.2(D)(2)(b)]:

- g. The applicant has provided parking lot perimeter buffer landscaping meeting the requirements of this section along the north and south perimeter of the parking lot, however, landscaping to meet this requirement along the east and west perimeters of the parking lot has not been provided. Provide 4 canopy trees per 100 lineal feet, 2 understory trees per 100 lineal feet, and a continuous row of shrubs along the east and west parking lot perimeters.

- h. Revise parking lot perimeter buffer calculations to include the length of the east and west parking lot perimeters.

Perimeter Buffer [Section 6.2.2(D)(3)]:

- i. The applicant has utilized the correct west perimeter buffer (Type D, 20 feet wide), and has chosen an Option 3 buffer. Option 3 requires one fence or wall plus one canopy tree every 20 linear feet. The Type D buffer is intended to function as an opaque screen from the ground to a height of at least 6 feet, providing a strong sense of total separation between uses. The fencing material proposed along the west property line does not provide an opaque screen between the subject property and properties contiguous to the west. The applicant must either: (1) select another screening option type for the west perimeter buffer, or (2) utilize a fencing material which meets the requirement of the Option 3 buffer and provides an opaque screen between the subject property and the contiguous properties.
- j. The applicant must provide the following perimeter buffers and required landscaping materials:
 - i. North property line: Type A, 5 foot wide buffer.
 - ii. East property line: Type A, 5 foot wide buffer.
 - iii. South property line: Type C, 10 foot wide buffer.The applicant must identify on Sheet L-100 which Type A/C buffer option (Option 1, 2 or 3) has been selected and must also provide perimeter buffer landscaping calculations on Sheet L-100.
- k. The applicant must address the conflict between the west perimeter buffer and the existing/unrecorded and proposed public utilities easements along the west property line. Consideration must also be given to the location of the north perimeter buffer and existing/proposed easements along the north property line.

Service Area Screening [Section 6.2.3(C)]:

- l. Service areas must be screened with either a solid fence at least six feet in height or landscaped using evergreen materials capable of providing a substantially opaque barrier and attaining a minimum height of six feet within three years of planting. Provide screening materials around the entire perimeter of the paved service area located west of the building.

Plant Size [Section 6.2.2(D)(8)]:

- m. All shrubs must be a minimum of 24 inches in height at the time of planting. The Landscape Schedule on Sheet L-150 indicates that certain planting materials (IS, VO) do not comply with this standard. Revise the planting schedule accordingly.

Existing Landscaping [Section 6.2.2(C)]:

- n. The Landscape Plan must identify all existing trees by common name. Revise the sheets with existing trees (L-101, L-104, L-107, and L-108) accordingly.

11. Sheet L-100 provides the specifications for waste receptacle screening. This information is not required on the Landscape Plan unless the applicant chooses to utilize landscaping materials to screen an outdoor waste receptacle. The plans currently do not identify any outdoor waste receptacle storage areas. If no outdoor waste receptacle storage areas are proposed for the development, the specification pertaining to such areas on Sheet L-100 is not applicable to the plans and should therefore be removed.

12. Sheet L-100 states that the minimum landscaped area required is 20%. The minimum required landscaped area, per Policy 2.4.1 of the Future Land Use Element, is 30%. Revise the minimum landscaping note and open space notes accordingly.
13. The percentage of the total proposed open space/landscape area was not provided under the associated note on Sheet L-100. Revise the note accordingly.
14. Section 6.2.2(D)(6)(b)(vi) requires an irrigation system to be used for landscaped areas. Provide an irrigation plan in the plan set or a note within the landscape plan indicating that the project's landscaped areas will be irrigated in accordance with Section 6.2.2(D)(6)(b)(vi.)

Fencing Standards

15. Section 6.3.3(B) states that fences in business districts shall not be permitted in front setback areas. The zoning of the property is Light and Warehouse Industrial (ILW), which requires a front setback of 15 feet. The fence located along the front property line must therefore be set back at least 15 feet from the property line in order to comply with Section 6.3.3(B.) The plans currently propose for fencing to be located no closer than 10 feet from the front property line. Revise the plans to comply with Section 6.3.3(B.)

Lighting Standards

16. Section 6.4.5(A)(1) requires lighting fixtures to be no more than 25 feet in height. Keynote 1 on Sheet E-101B states that loading dock lighting is mounted on 30 foot poles due to the overall size of loading dock area. Pole mounted lighting, including luminaires within the loading dock area, must comply with the height standards provided in Section 6.4.5(A)(1.) Revise the height of lighting within the loading dock area to comply with the referenced provision.
17. Keynote 1 on Sheet E-101B states that wall-mounted luminaires at the loading dock are mounted at 25 feet above finished grade. Section 6.4.5(A) states that lighting fixtures other than lighting for architectural purposes, whether mounted on poles or walls or by other means, shall be no more than 15 feet high, except for lighting in parking lots with 100 or more spaces or within historic districts. Revise the height of wall-mounted luminaires to comply with the referenced provision, and verify that wall-mounted luminaires comply with the specific criteria applicable to wall mounted lights as provided in Section 6.4.4(A.)
18. Note 1, General Notes, on Sheet E-101A states that wall-mounted luminaires are to be fully shielded. Provide detail of luminaire shielding on a typical detail of all wall-mounted luminaire types utilized on the site.
19. Section 6.4.4(B)(1) states that no light source shall be directed outward toward property boundaries or adjacent right-of-ways. There are 4 luminaires located at the project's ingress/egress points which do not comply with the referenced provision. Remove/reposition these luminaires to comply with Section 6.4.4(B)(1.)
20. To demonstrate full compliance with Sections 6.4.4 and 6.4.5, provide a standard detail for all luminaire types and dimension the height of all luminaire types.

21. To demonstrate compliance with Section 6.4.4(C), provide the maximum initial lamp lumens for each luminaire type utilized on the site.

Consistency with Other LDR Standards

22. To demonstrate compliance with the standards for outdoor storage as an accessory use provided in Section 4.4.4(E), the applicant must provide detail of the screening surrounding the mechanical yard. Such detail must include, at a minimum, an architectural elevation depicting the area of and surrounding the mechanical yard, and must identify the height of such screening materials and the materials located within the yard.
23. Sheet C1.14 notes the location of a future guard house. Staff suggests that the location and dimensions of the future guard house be shown on this site plan. Any future addition of a guard house would otherwise require future site plan/minor site plan review and approval. (NOTE: Should the applicant choose to include the location and dimensions of the future guard house on this site plan, a building permit must be obtained for the guard house within three years of the date of the approval of this site plan. If a building permit has not been obtained within this time period, the property owner will be required to obtain site plan/minor site plan approval for the guard house.)
24. The applicant has provided a memorandum from Daniel Young, PE, which indicates that the project complies with the existing permit and design approved by the Suwannee River Water Management District (SRWMD.) The applicant must provide a letter of exemption from SRWMD which indicates that the proposed development complies with the approved permit.

Architectural Plans

25. Note 1 on Sheet C0.00 indicates that the building footprint area is 128,673 square feet, but that the building consists of a total of 153,000 square feet. The architectural floor plan does not show the mezzanine level. Revise the architectural plans to show all floors/levels of the building.
26. The elevations on Sheet A4.02 appear to be incorrectly labeled: The elevation which appears to be the East elevation is labeled as North; The elevation which appears to be the North elevation is labeled as West; The elevation which appears to be the West elevation is labeled as South; The elevation which appears to be the South elevation is labeled as East. Verify elevation labels are correct.
27. Revise the plans to include a color architectural elevation (Sheet A4.02.)

Concurrency Impact Analysis

28. Section 2.4.14(H) of the City's LDRs defines the affected roadway segments for a development generating less than or equal to 1,000 external average daily trips as those roadway segments located wholly or partially within one-half mile of the development's ingress/egress, or to the nearest intersecting major street. Policy 1.1.a of the Transportation Element identifies County-maintained collectors, including County Road 2054, as roadways monitored for concurrency. For this development, the only affected roadway segment is County Road 2054 West (from SR 235 to US Highway 441.) Revise the Concurrency Impact Analysis accordingly.

29. The applicant has based solid waste generation upon a floor area of 135,000 square feet. The correct floor area, per the plans, is 153,000 square feet. Revise the solid waste demand calculations accordingly.
30. The applicant has provided information which indicates that the total daily potable water demand shall be approximately 70,000 gallons (47,000 gallons from sanitary sewer load, plus 21,600 gallons from evaporation from cooling towers, plus 1,000 gallons from human process/consumption.) This data must be incorporated into the Concurrency Impact Analysis.

Comprehensive Plan Consistency Analysis

31. The applicant's responses to Policies 1.4.f.8. and 2.4.2 of the Future Land Use Element state that a buffer along the southern boundary will not likely be required, however, a perimeter buffer is required by Table 6.2-2 of the LDRs. Revise the Concurrency Impact Analysis accordingly.
32. In response to Objective 9.1 of the Future Land Use Element and Objective 1.2 and Policy 4.2.a of the CFNGAR Element, the applicant states that the Public Services Department has issued an "Ability to Serve" letter. Reference the date of the letter and include the letter as an exhibit to the Comprehensive Plan Consistency Analysis.
33. The applicant's response to Policy 1.3.a of the Future Land Use Element states that the site plan includes 153 parking spaces, however, the plans indicate 191 parking spaces are proposed. Revise accordingly.

Public Services/Outside Engineering Review Comments

34. The applicant must address the comments provided by Sergio Reyes, P.E., of Eng, Denman & Associates, Inc., in a letter dated July 12, 2013.
35. The applicant must comply with all comments provided by Mike New, P.E., Public Services Director. Comments will be provided separately in a memorandum from Mr. New.

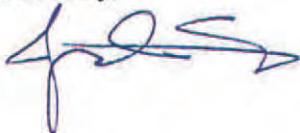
Miscellaneous/General Issues

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If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

Attachment: Letter from Sergio Reyes, P.E., of Eng, Denman & Associates, Inc., dated July 12, 2013

cc: Kathy Winburn, AICP, Planning & Community Development Director
Brandon Stubbs, Planner
Donnie Ellington, Nanotherapeutics, Inc. (by electronic mail)
Robert Walpole, PE, LEED AP, Causseaux, Hewett, & Walpole, Inc. (by electronic mail)
Project File



ENG, DENMAN & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

July 12, 2013

Justin Tabor
Planner
City of Alachua
15100 Main Street
Alachua, FL 32616

RE: Engineering Review of the Nanotherapeutics Advanced Development & Manufacturing Site Plan

Mr. Tabor:

After reviewing the abovementioned plans per the request of the City of Alachua, we offer the following engineering review comments regarding the proposed Nanotherapeutics Advanced Development & Manufacturing Site Plan:

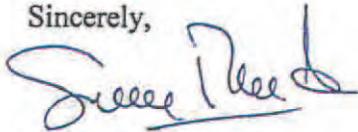
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service. Provide means of isolating proposed system from the existing system in case a problem is presented. Please provide additional valves at the connection point.

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7. If waste receptacles are provided, indicate size, screening, grading and means of access without conflicting with internal circulation.
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11. Regarding the downspout connection detail on Sheet C0.20, please make the riser and pipe connection to the proposed water system the same size.

If you have any questions regarding these comments, please do not hesitate to call our office at 373-3541.

Sincerely,

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Sergio Reyes, P.E.
President / Principal



City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

July 23, 2013

Mr. James Matthew
Nanotherapeutics, Inc.
13859 Progress Boulevard
Suite 300
Alachua, FL 32615

RE: Development Review Team (DRT) Summary: Nanotherapeutics Advanced Development & Manufacturing Facility – Site Plan

Dear Mr. Matthew:

The application referenced above was reviewed at our April 18, 2013 Development Review Team (DRT) Meeting. Please address all insufficiencies outlined below in writing and provide an indication as to how they have been addressed by **4:00 PM on Monday, August 5, 2013**. A total of three (3) copies of the application package, plans, and a CD containing a PDF of all application materials and plans must be provided by this date.

Upon receipt of your revised application, Staff will notify you of any remaining insufficiencies which must be resolved before the item may be scheduled for a public hearing before the Planning & Zoning Board (PZB.) Please note that if Staff determines that the revised submission requires outside technical review by the City, your application may be delayed in order to allow for adequate review time. You must provide 13 *double-sided, three-hole punched sets* of each application package, 13 sets of plans, and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*.

As discussed at the DRT Meeting, please address the following insufficiencies:

Easements/Legal Access Issues

1. The subject property is provided access by a 60 foot wide ingress, egress and public utilities easement. This easement is recorded in the public records of Alachua County as Exhibit "B" to the deed of Parcel #03927-000-000, as recorded in O.R. Book 3416, Page 742. The applicant must:
 - a. Prepare documentation which will vacate the portion of the easement located within the plan's project area and provide such documentation to the City for review, approval, and acceptance.
 - b. Prepare an ingress/egress easement and public utilities easement for the land which consists of the proposed cul-de-sac and provide such documentation to the City for review, approval, and acceptance.

These documents must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such documentation shall be incurred by the applicant.

2. A number of public utilities easements located within the project area and parent parcel are unrecorded. The applicant must provide draft easements for review and approval of all unrecorded easements within the project area and parent parcel. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
3. Prepare documentation for all proposed public utilities easements and provide such documentation to the City for review and approval. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
4. The street located within the 60 foot ingress/egress and public utilities easement does not have an official Alachua County E911 street name. The applicant shall coordinate with the Alachua County E911 office to assign a street name to the roadway and provide documentation to City staff.

Parking/Traffic/Circulation Standards

5. Section 6.1.4(D) requires all development with off-street parking lots with 100 or more parking spaces to provide bicycle parking facilities at a rate of one space for every 1,000 square feet of building area, located within 50 linear feet of the building's main entrance. The applicant must:
 - a. Address compliance with Section 6.1.4(D).
 - b. Indicate the location of required bicycle parking on the plans in a location which meets the criteria of the referenced section.
 - c. Provide typical detail of the bicycle racks which will be utilized within the plan set.
 - d. Revise bicycle parking calculations on Sheet C0.00.
6. Section 6.1.5(C) requires certain uses, including research and industrial plants and other similar uses, to provide off-street loading. Given the floor area of the proposed development, Table 6.1-2 requires 4 off street loading spaces for the project. The applicant must address compliance with Table 6.1-2 by dimensioning the loading spaces on the plans. Section 6.1.7(B) requires loading spaces to provide an area of 12 feet by 30 feet, exclusive of platforms or piers, and a clear vertical dimension of 14 feet.
7. Section 6.1.10 requires pedestrian pathways to be provided in parking lots with 100 or more spaces. Such pathways must provide pedestrian crosswalks which are at least 10 feet in width, either raised above the adjacent pavement, striped, or otherwise designated through the use of alternative materials, and must be located between all primary building entrances and the parking areas serving those entrances. The parking lot design does not comply with the aforementioned standard. Revise all crosswalks to comply accordingly.
8. To ensure safe and adequate pedestrian circulation, the following modifications are necessary to the pedestrian circulation design:

- a. A crosswalk is necessary to connect the sidewalks located on the north and south sides of the entry drive aisle, immediately east of the circular driveway in front of the building's main entrance.
 - b. The sidewalk along the south side of the entry drive aisle must be extended to the security gate and a crosswalk linking the sidewalks on both sides of the drive aisle must be included to provide a pedestrian connection to the sidewalk currently terminating adjacent to the security gate.
9. To eliminate conflicts between vehicular and pedestrian circulation areas, wheel stops or curbing must be provided along the most southern row of parking spaces.

Landscaping Standards

10. Revise the Landscape Plan/calculations as follows:

Site Landscaping [Section 6.2.2(D)(1)(c)]:

- a. Sides and rear canopy trees provided: The Landscape Plan does not provide a sufficient number of canopy trees to meet the minimum number required on the south side of the building (a minimum of 56 is required.) (NOTE: The Landscape Plan may comply with this standard once the plans are revised to address other comments in this report, specifically perimeter buffer requirements.)
- b. Building façade canopy trees required/provided: Calculations have been provided for the front façade. Calculations must also be provided for all other building facades. Identify the number of trees required (approximately 16 on the south elevation, 15 on the west elevation, and 19 on the north elevation) and the number provided for all other facades. Canopy trees required pursuant to this provision must be in addition to the minimum number of trees required by the site's overall acreage.
- c. Site understory trees required/provided: Identify number of trees required and the number provided on each side of the building [25% of the site's required understory trees (a minimum of 42 trees on each side) must be provided on each side.]
- d. Site understory trees provided: The Landscape Plan does not provide a sufficient number of understory trees to meet the minimum number required on the north and south sides of the building. There are 28 understory trees provided on the north side of the building (42 required) and 13 understory trees provided on the south side of the building (42 required.) (NOTE: The Landscape Plan may comply with this standard once the plans are revised to address other comments in this report, specifically perimeter buffer requirements.)
- e. State that a row of shrubs has been provided on all facades of the structure.

Parking Lot Interior Landscaping [Section 6.2.2(D)(2)(a)]:

- f. The Landscape Plan provides 32 trees and 324 shrubs within the parking lot interior area. A minimum of 39 trees and 390 shrubs is required.

Parking Lot Perimeter Landscaping [Section 6.2.2(D)(2)(b)]:

- g. The applicant has provided parking lot perimeter buffer landscaping meeting the requirements of this section along the north and south perimeter of the parking lot, however, landscaping to meet this requirement along the east and west perimeters of the parking lot has not been provided. Provide 4 canopy trees per 100 lineal feet, 2 understory trees per 100 lineal feet, and a continuous row of shrubs along the east and west parking lot perimeters.

- h. Revise parking lot perimeter buffer calculations to include the length of the east and west parking lot perimeters.

Perimeter Buffer [Section 6.2.2(D)(3)]:

- i. The applicant has utilized the correct west perimeter buffer (Type D, 20 feet wide), and has chosen an Option 3 buffer. Option 3 requires one fence or wall plus one canopy tree every 20 linear feet. The Type D buffer is intended to function as an opaque screen from the ground to a height of at least 6 feet, providing a strong sense of total separation between uses. The fencing material proposed along the west property line does not provide an opaque screen between the subject property and properties contiguous to the west. The applicant must either: (1) select another screening option type for the west perimeter buffer, or (2) utilize a fencing material which meets the requirement of the Option 3 buffer and provides an opaque screen between the subject property and the contiguous properties.
- j. The applicant must provide the following perimeter buffers and required landscaping materials:
- i. North property line: Type A, 5 foot wide buffer.
 - ii. East property line: Type A, 5 foot wide buffer.
 - iii. South property line: Type C, 10 foot wide buffer.
- The applicant must identify on Sheet L-100 which Type A/C buffer option (Option 1, 2 or 3) has been selected and must also provide perimeter buffer landscaping calculations on Sheet L-100.
- k. The applicant must address the conflict between the west perimeter buffer and the existing/unrecorded and proposed public utilities easements along the west property line. Consideration must also be given to the location of the north perimeter buffer and existing/proposed easements along the north property line.

Service Area Screening [Section 6.2.3(C)]:

- l. Service areas must be screened with either a solid fence at least six feet in height or landscaped using evergreen materials capable of providing a substantially opaque barrier and attaining a minimum height of six feet within three years of planting. Provide screening materials around the entire perimeter of the paved service area located west of the building.

Plant Size [Section 6.2.2(D)(8)]:

- m. All shrubs must be a minimum of 24 inches in height at the time of planting. The Landscape Schedule on Sheet L-150 indicates that certain planting materials (IS, VO) do not comply with this standard. Revise the planting schedule accordingly.

Existing Landscaping [Section 6.2.2(C)]:

- n. The Landscape Plan must identify all existing trees by common name. Revise the sheets with existing trees (L-101, L-104, L-107, and L-108) accordingly.

11. Sheet L-100 provides the specifications for waste receptacle screening. This information is not required on the Landscape Plan unless the applicant chooses to utilize landscaping materials to screen an outdoor waste receptacle. The plans currently do not identify any outdoor waste receptacle storage areas. If no outdoor waste receptacle storage areas are proposed for the development, the specification pertaining to such areas on Sheet L-100 is not applicable to the plans and should therefore be removed.

12. Sheet L-100 states that the minimum landscaped area required is 20%. The minimum required landscaped area, per Policy 2.4.1 of the Future Land Use Element, is 30%. Revise the minimum landscaping note and open space notes accordingly.
13. The percentage of the total proposed open space/landscape area was not provided under the associated note on Sheet L-100. Revise the note accordingly.
14. Section 6.2.2(D)(6)(b)(vi) requires an irrigation system to be used for landscaped areas. Provide an irrigation plan in the plan set or a note within the landscape plan indicating that the project's landscaped areas will be irrigated in accordance with Section 6.2.2(D)(6)(b)(vi.)

Fencing Standards

15. Section 6.3.3(B) states that fences in business districts shall not be permitted in front setback areas. The zoning of the property is Light and Warehouse Industrial (ILW), which requires a front setback of 15 feet. The fence located along the front property line must therefore be set back at least 15 feet from the property line in order to comply with Section 6.3.3(B.) The plans currently propose for fencing to be located no closer than 10 feet from the front property line. Revise the plans to comply with Section 6.3.3(B.)

Lighting Standards

16. Section 6.4.5(A)(1) requires lighting fixtures to be no more than 25 feet in height. Keynote 1 on Sheet E-101B states that loading dock lighting is mounted on 30 foot poles due to the overall size of loading dock area. Pole mounted lighting, including luminaires within the loading dock area, must comply with the height standards provided in Section 6.4.5(A)(1.) Revise the height of lighting within the loading dock area to comply with the referenced provision.
17. Keynote 1 on Sheet E-101B states that wall-mounted luminaires at the loading dock are mounted at 25 feet above finished grade. Section 6.4.5(A) states that lighting fixtures other than lighting for architectural purposes, whether mounted on poles or walls or by other means, shall be no more than 15 feet high, except for lighting in parking lots with 100 or more spaces or within historic districts. Revise the height of wall-mounted luminaires to comply with the referenced provision, and verify that wall-mounted luminaires comply with the specific criteria applicable to wall mounted lights as provided in Section 6.4.4(A.)
18. Note 1, General Notes, on Sheet E-101A states that wall-mounted luminaires are to be fully shielded. Provide detail of luminaire shielding on a typical detail of all wall-mounted luminaire types utilized on the site.
19. Section 6.4.4(B)(1) states that no light source shall be directed outward toward property boundaries or adjacent right-of-ways. There are 4 luminaires located at the project's ingress/egress points which do not comply with the referenced provision. Remove/reposition these luminaires to comply with Section 6.4.4(B)(1.)
20. To demonstrate full compliance with Sections 6.4.4 and 6.4.5, provide a standard detail for all luminaire types and dimension the height of all luminaire types.

-
21. To demonstrate compliance with Section 6.4.4(C), provide the maximum initial lamp lumens for each luminaire type utilized on the site.

Consistency with Other LDR Standards

22. To demonstrate compliance with the standards for outdoor storage as an accessory use provided in Section 4.4.4(E), the applicant must provide detail of the screening surrounding the mechanical yard. Such detail must include, at a minimum, an architectural elevation depicting the area of and surrounding the mechanical yard, and must identify the height of such screening materials and the materials located within the yard.
23. Sheet C1.14 notes the location of a future guard house. Staff suggests that the location and dimensions of the future guard house be shown on this site plan. Any future addition of a guard house would otherwise require future site plan/minor site plan review and approval. (NOTE: Should the applicant choose to include the location and dimensions of the future guard house on this site plan, a building permit must be obtained for the guard house within three years of the date of the approval of this site plan. If a building permit has not been obtained within this time period, the property owner will be required to obtain site plan/minor site plan approval for the guard house.)
24. The applicant has provided a memorandum from Daniel Young, PE, which indicates that the project complies with the existing permit and design approved by the Suwannee River Water Management District (SRWMD.) The applicant must provide a letter of exemption from SRWMD which indicates that the proposed development complies with the approved permit.

Architectural Plans

25. Note 1 on Sheet C0.00 indicates that the building footprint area is 128,673 square feet, but that the building consists of a total of 153,000 square feet. The architectural floor plan does not show the mezzanine level. Revise the architectural plans to show all floors/levels of the building.
26. The elevations on Sheet A4.02 appear to be incorrectly labeled: The elevation which appears to be the East elevation is labeled as North; The elevation which appears to be the North elevation is labeled as West; The elevation which appears to be the West elevation is labeled as South; The elevation which appears to be the South elevation is labeled as East. Verify elevation labels are correct.
27. Revise the plans to include a color architectural elevation (Sheet A4.02.)

Concurrency Impact Analysis

28. Section 2.4.14(H) of the City's LDRs defines the affected roadway segments for a development generating less than or equal to 1,000 external average daily trips as those roadway segments located wholly or partially within one-half mile of the development's ingress/egress, or to the nearest intersecting major street. Policy 1.1.a of the Transportation Element identifies County-maintained collectors, including County Road 2054, as roadways monitored for concurrency. For this development, the only affected roadway segment is County Road 2054 West (from SR 235 to US Highway 441.) Revise the Concurrency Impact Analysis accordingly.

29. The applicant has based solid waste generation upon a floor area of 135,000 square feet. The correct floor area, per the plans, is 153,000 square feet. Revise the solid waste demand calculations accordingly.
30. The applicant has provided information which indicates that the total daily potable water demand shall be approximately 70,000 gallons (47,000 gallons from sanitary sewer load, plus 21,600 gallons from evaporation from cooling towers, plus 1,000 gallons from human process/consumption.) This data must be incorporated into the Concurrency Impact Analysis.

Comprehensive Plan Consistency Analysis

31. The applicant's responses to Policies 1.4.f.8. and 2.4.2 of the Future Land Use Element state that a buffer along the southern boundary will not likely be required, however, a perimeter buffer is required by Table 6.2-2 of the LDRs. Revise the Concurrency Impact Analysis accordingly.
32. In response to Objective 9.1 of the Future Land Use Element and Objective 1.2 and Policy 4.2.a of the CFNGAR Element, the applicant states that the Public Services Department has issued an "Ability to Serve" letter. Reference the date of the letter and include the letter as an exhibit to the Comprehensive Plan Consistency Analysis.
33. The applicant's response to Policy 1.3.a of the Future Land Use Element states that the site plan includes 153 parking spaces, however, the plans indicate 191 parking spaces are proposed. Revise accordingly.

Public Services/Outside Engineering Review Comments

34. The applicant must address the comments provided by Sergio Reyes, P.E., of Eng, Denman & Associates, Inc., in a letter dated July 12, 2013.
35. The applicant must comply with all comments provided by Mike New, P.E., Public Services Director. Comments will be provided separately in a memorandum from Mr. New.

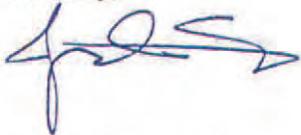
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Justin Tabor, AICP
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Project File



July 12, 2013

Justin Tabor
Planner
City of Alachua
15100 Main Street
Alachua, FL 32616

RE: Engineering Review of the Nanotherapeutics Advanced Development & Manufacturing Site Plan

Mr. Tabor:

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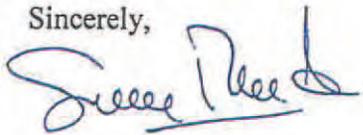
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If you have any questions regarding these comments, please do not hesitate to call our office at 373-3541.

Sincerely,

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Sergio Reyes, P.E.
President / Principal

DEVELOPMENT REVIEW TEAM SUMMARY

PROJECT NAME: Nanotherapeutics Advanced Development & Manufacturing Facility

APPLICATION TYPE: Site Plan

APPLICANT/PROPERTY OWNER: Nanotherapeutics, Inc.

AGENT: Daniel Young, P.E., Causseaux, Hewett, & Walpole, Inc.

DRT MEETING DATE: July 22, 2013

DRT MEETING TYPE: Applicant

FLUM DESIGNATION: Industrial

ZONING: Light & Warehouse Industrial

OVERLAY: N/A

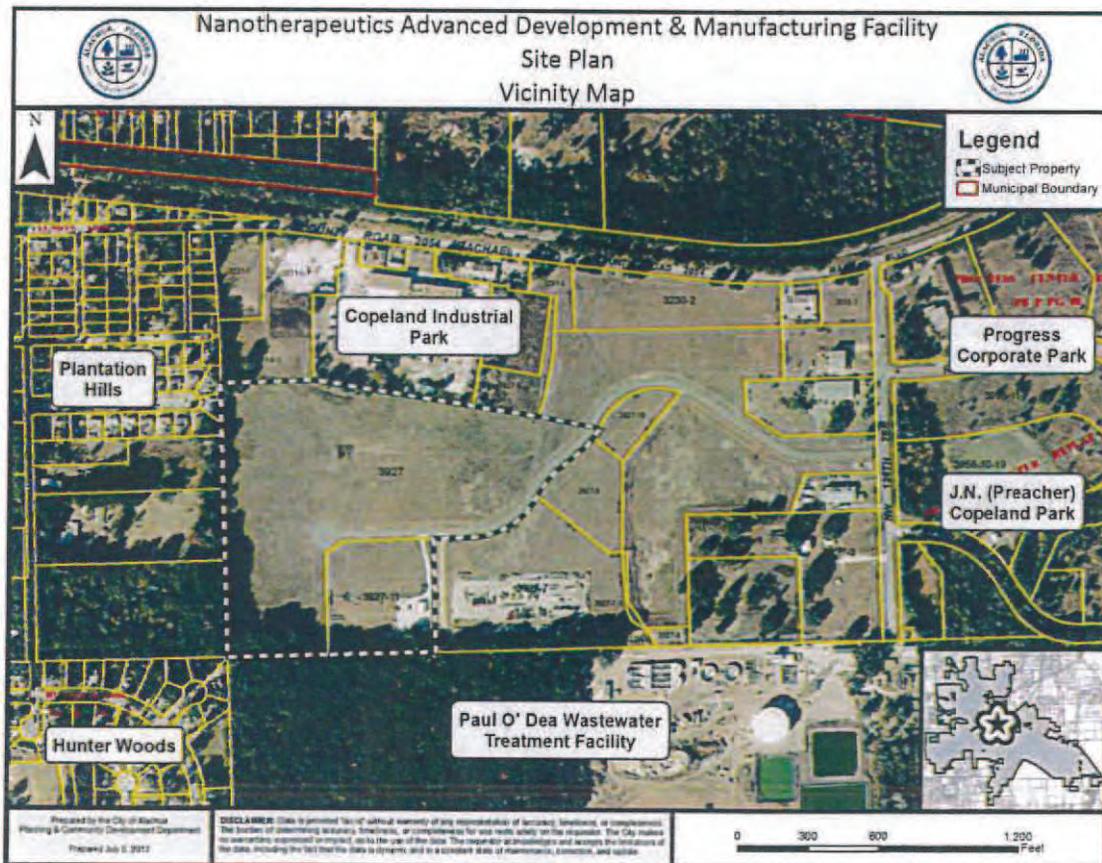
ACREAGE: ±28.07 acres

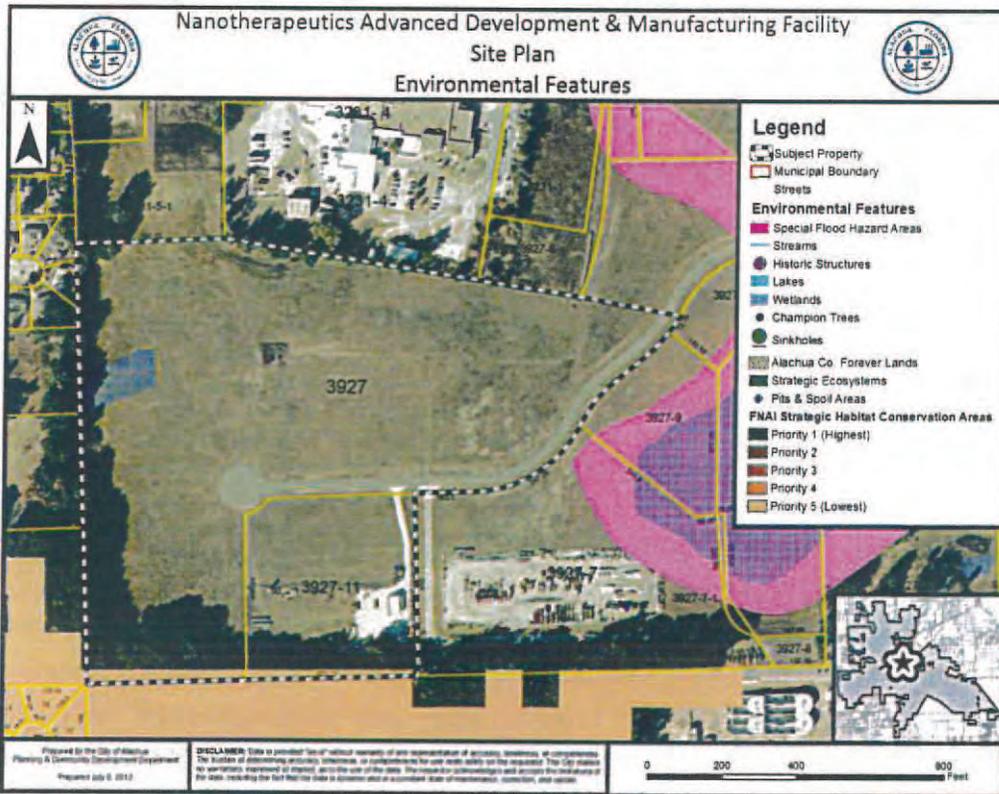
PARCEL: 03927-000-011-000 and a portion of 03927-000-000

PROJECT LOCATION: Copeland Park, west of NW 126th Terrace

PROJECT SUMMARY: A request for a Site Plan for a new ±153,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements

RESUBMISSION DUE DATE: All data, plans, and documentation addressing the insufficiencies identified below must be received by the Planning Department on or before 4:00 PM on Monday, August 5, 2013





Deficiencies to be Addressed

Easements/Legal Access Issues

1. The subject property is provided access by a 60 foot wide ingress, egress and public utilities easement. This easement is recorded in the public records of Alachua County as Exhibit "B" to the deed of Parcel #03927-000-000, as recorded in O.R. Book 3416, Page 742. The applicant must:
 - a. Prepare documentation which will vacate the portion of the easement located within the plan's project area and provide such documentation to the City for review, approval, and acceptance.
 - b. Prepare an ingress/egress easement and public utilities easement for the land which consists of the proposed cul-de-sac and provide such documentation to the City for review, approval, and acceptance.

These documents must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such documentation shall be incurred by the applicant.

2. A number of public utilities easements located within the project area and parent parcel are unrecorded. The applicant must provide draft easements for review and approval of all unrecorded easements within the project area and parent parcel. Once City Staff determines the easements to be sufficient, the applicant shall provide executed copies to City staff. These easements must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such easements shall be incurred by the applicant.
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4. The street located within the 60 foot ingress/egress and public utilities easement does not have an official Alachua County E911 street name. The applicant shall coordinate with the Alachua County E911 office to assign a street name to the roadway and provide documentation to City staff.

Parking/Traffic/Circulation Standards

5. Section 6.1.4(D) requires all development with off-street parking lots with 100 or more parking spaces to provide bicycle parking facilities at a rate of one space for every 1,000 square feet of building area, located within 50 linear feet of the building's main entrance. The applicant must:
 - a. Address compliance with Section 6.1.4(D).
 - b. Indicate the location of required bicycle parking on the plans in a location which meets the criteria of the referenced section.

- c. Provide typical detail of the bicycle racks which will be utilized within the plan set.
 - d. Revise bicycle parking calculations on Sheet C0.00.
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Landscaping Standards

10. Revise the Landscape Plan/calculations as follows:

Site Landscaping [Section 6.2.2(D)(1)(c)]:

- a. Sides and rear canopy trees provided: The Landscape Plan does not provide a sufficient number of canopy trees to meet the minimum number required on the south side of the building (a minimum of 56 is required.) (NOTE: The Landscape Plan may comply with this standard once the plans are revised to address other comments in this report, specifically perimeter buffer requirements.)
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- c. Site understory trees required/provided: Identify number of trees required and the number provided on each side of the building [25% of the site's required understory trees (a minimum of 42 trees on each side) must be provided on each side.]
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- f. The Landscape Plan provides 32 trees and 324 shrubs within the parking lot interior area. A minimum of 39 trees and 390 shrubs is required.

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- g. The applicant has provided parking lot perimeter buffer landscaping meeting the requirements of this section along the north and south perimeter of the parking lot, however, landscaping to meet this requirement along the east and west perimeters of the parking lot has not been provided. Provide 4 canopy trees per 100 lineal feet, 2 understory trees per 100 lineal feet, and a continuous row of shrubs along the east and west parking lot perimeters.
- h. Revise parking lot perimeter buffer calculations to include the length of the east and west parking lot perimeters.

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- i. The applicant has utilized the correct west perimeter buffer (Type D, 20 feet wide), and has chosen an Option 3 buffer. Option 3 requires one fence or wall plus one canopy tree every 20 linear feet. The Type D buffer is intended to function as an opaque screen from the ground to a height of at least 6 feet, providing a strong sense of total separation between uses. The fencing material proposed along the west property line does not provide an opaque screen between the subject property and properties contiguous to the west. The applicant must either: (1) select another screening option type for the west perimeter buffer, or (2) utilize a fencing material which meets the requirement of the Option 3 buffer and provides an opaque screen between the subject property and the contiguous properties.
- j. The applicant must provide the following perimeter buffers and required landscaping materials:
 - i. North property line: Type A, 5 foot wide buffer.
 - ii. East property line: Type A, 5 foot wide buffer.
 - iii. South property line: Type C, 10 foot wide buffer.

The applicant must identify on Sheet L-100 which Type A/C buffer option (Option 1, 2 or 3) has been selected and must also provide perimeter buffer landscaping calculations on Sheet L-100.

- k. The applicant must address the conflict between the west perimeter buffer and the existing/unrecorded and proposed public utilities easements along the west property line. Consideration must also be given to the location of the north perimeter buffer and existing/proposed easements along the north property line.

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- l. Service areas must be screened with either a solid fence at least six feet in height or landscaped using evergreen materials capable of providing a substantially opaque barrier and attaining a minimum height of six feet within three years of planting. Provide screening materials around the entire perimeter of the paved service area located west of the building.

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- m. All shrubs must be a minimum of 24 inches in height at the time of planting. The Landscape Schedule on Sheet L-150 indicates that certain planting materials (IS, VO) do not comply with this standard. Revise the planting schedule accordingly.

Existing Landscaping [Section 6.2.2(C)]:

- n. The Landscape Plan must identify all existing trees by common name. Revise the sheets with existing trees (L-101, L-104, L-107, and L-108) accordingly.

- 11. Sheet L-100 provides the specifications for waste receptacle screening. This information is not required on the Landscape Plan unless the applicant chooses to utilize landscaping materials to screen an outdoor waste receptacle. The plans currently do not identify any outdoor waste receptacle storage areas. If no outdoor waste receptacle storage areas are proposed for the development, the specification pertaining to such areas on Sheet L-100 is not applicable to the plans and should therefore be removed.
- 12. Sheet L-100 states that the minimum landscaped area required is 20%. The minimum required landscaped area, per Policy 2.4.1 of the Future Land Use Element, is 30%. Revise the minimum landscaping note and open space notes accordingly.
- 13. The percentage of the total proposed open space/landscape area was not provided under the associated note on Sheet L-100. Revise the note accordingly.
- 14. Section 6.2.2(D)(6)(b)(vi) requires an irrigation system to be used for landscaped areas. Provide an irrigation plan in the plan set or a note within the landscape plan indicating that the project's landscaped areas will be irrigated in accordance with Section 6.2.2(D)(6)(b)(vi.)

Fencing Standards

15. Section 6.3.3(B) states that fences in business districts shall not be permitted in front setback areas. The zoning of the property is Light and Warehouse Industrial (ILW), which requires a front setback of 15 feet. The fence located along the front property line must therefore be set back at least 15 feet from the property line in order to comply with Section 6.3.3(B.) The plans currently propose for fencing to be located no closer than 10 feet from the front property line. Revise the plans to comply with Section 6.3.3(B.)

Lighting Standards

16. Section 6.4.5(A)(1) requires lighting fixtures to be no more than 25 feet in height. Keynote 1 on Sheet E-101B states that loading dock lighting is mounted on 30 foot poles due to the overall size of loading dock area. Pole mounted lighting, including luminaires within the loading dock area, must comply with the height standards provided in Section 6.4.5(A)(1.) Revise the height of lighting within the loading dock area to comply with the referenced provision.
17. Keynote 1 on Sheet E-101B states that wall-mounted luminaires at the loading dock are mounted at 25 feet above finished grade. Section 6.4.5(A) states that lighting fixtures other than lighting for architectural purposes, whether mounted on poles or walls or by other means, shall be no more than 15 feet high, except for lighting in parking lots with 100 or more spaces or within historic districts. Revise the height of wall-mounted luminaires to comply with the referenced provision, and verify that wall-mounted luminaires comply with the specific criteria applicable to wall mounted lights as provided in Section 6.4.4(A.)
18. Note 1, General Notes, on Sheet E-101A states that wall-mounted luminaires are to be fully shielded. Provide detail of luminaire shielding on a typical detail of all wall-mounted luminaire types utilized on the site.
19. Section 6.4.4(B)(1) states that no light source shall be directed outward toward property boundaries or adjacent right-of-ways. There are 4 luminaires located at the project's ingress/egress points which do not comply with the referenced provision. Remove/reposition these luminaires to comply with Section 6.4.4(B)(1.)
20. To demonstrate full compliance with Sections 6.4.4 and 6.4.5, provide a standard detail for all luminaire types and dimension the height of all luminaire types.
21. To demonstrate compliance with Section 6.4.4(C), provide the maximum initial lamp lumens for each luminaire type utilized on the site.

Consistency with Other LDR Standards

22. To demonstrate compliance with the standards for outdoor storage as an accessory use provided in Section 4.4.4(E), the applicant must provide detail of the screening surrounding the mechanical yard. Such detail must include, at a minimum, an

architectural elevation depicting the area of and surrounding the mechanical yard, and must identify the height of such screening materials and the materials located within the yard.

23. Sheet C1.14 notes the location of a future guard house. Staff suggests that the location and dimensions of the future guard house be shown on this site plan. Any future addition of a guard house would otherwise require future site plan/minor site plan review and approval. (NOTE: Should the applicant choose to include the location and dimensions of the future guard house on this site plan, a building permit must be obtained for the guard house within three years of the date of the approval of this site plan. If a building permit has not been obtained within this time period, the property owner will be required to obtain site plan/minor site plan approval for the guard house.)
24. The applicant has provided a memorandum from Daniel Young, PE, which indicates that the project complies with the existing permit and design approved by the Suwannee River Water Management District (SRWMD.) The applicant must provide a letter of exemption from SRWMD which indicates that the proposed development complies with the approved permit.

Architectural Plans

25. Note 1 on Sheet C0.00 indicates that the building footprint area is 128,673 square feet, but that the building consists of a total of 153,000 square feet. The architectural floor plan does not show the mezzanine level. Revise the architectural plans to show all floors/levels of the building.
26. The elevations on Sheet A4.02 appear to be incorrectly labeled: The elevation which appears to be the East elevation is labeled as North; The elevation which appears to be the North elevation is labeled as West; The elevation which appears to be the West elevation is labeled as South; The elevation which appears to be the South elevation is labeled as East. Verify elevation labels are correct.
27. Revise the plans to include a color architectural elevation (Sheet A4.02.)

Concurrency Impact Analysis

28. Section 2.4.14(H) of the City's LDRs defines the affected roadway segments for a development generating less than or equal to 1,000 external average daily trips as those roadway segments located wholly or partially within one-half mile of the development's ingress/egress, or to the nearest intersecting major street. Policy 1.1.a of the Transportation Element identifies County-maintained collectors, including County Road 2054, as roadways monitored for concurrency. For this development, the only affected roadway segment is County Road 2054 West (from SR 235 to US Highway 441.) Revise the Concurrency Impact Analysis accordingly.

29. The applicant has based solid waste generation upon a floor area of 135,000 square feet. The correct floor area, per the plans, is 153,000 square feet. Revise the solid waste demand calculations accordingly.
30. The applicant has provided information which indicates that the total daily potable water demand shall be approximately 70,000 gallons (47,000 gallons from sanitary sewer load, plus 21,600 gallons from evaporation from cooling towers, plus 1,000 gallons from human process/consumption.) This data must be incorporated into the Concurrency Impact Analysis.

Comprehensive Plan Consistency Analysis

31. The applicant's responses to Policies 1.4.f.8. and 2.4.2 of the Future Land Use Element state that a buffer along the southern boundary will not likely be required, however, a perimeter buffer is required by Table 6.2-2 of the LDRs. Revise the Concurrency Impact Analysis accordingly.
32. In response to Objective 9.1 of the Future Land Use Element and Objective 1.2 and Policy 4.2.a of the CFNGAR Element, the applicant states that the Public Services Department has issued an "Ability to Serve" letter. Reference the date of the letter and include the letter as an exhibit to the Comprehensive Plan Consistency Analysis.
33. The applicant's response to Policy 1.3.a of the Future Land Use Element states that the site plan includes 153 parking spaces, however, the plans indicate 191 parking spaces are proposed. Revise accordingly.

Public Services/Outside Engineering Review Comments

34. The applicant must address the comments provided by Sergio Reyes, P.E., of Eng, Denman & Associates, Inc., in a letter dated July 12, 2013.
35. The applicant must comply with all comments provided by Mike New, P.E., Public Services Director. Comments will be provided separately in a memorandum from Mr. New.

Miscellaneous/General Issues

36. The dimensions of the structure, minimum building setbacks, and the distance between the structure and property lines must be shown on the site plan.
37. If any outdoor waste receptacles are proposed, the location of such receptacles and detail of receptacle screening must be shown on the site plan.
38. There are numerous inconsistencies in the building's size throughout the application materials (129,673 square foot building, 153,000 square foot building, etc.) The applicant must resolve all inconsistencies within the application materials.
39. Sheet 0.00: Revise document title as follows: ~~Preliminary~~/Final Development Plans.

40. Sheet 0.00, Note 8: There is a typographical error in the first line.
41. Sheet 0.00, Sheet Index: Correct typographical errors (C2.3X, A-#.)
42. Sheet C0.10, General Notes, Note 14: Remove reference to Alachua County Environmental Protection Department.
43. Sheet C0.10, Paving, Grading, and Drainage Notes, Note 8: Change reference from Alachua County Public Works Department to City of Alachua Public Services Department.
44. Numerous references are made throughout the plans to reference the architectural plans for fencing detail. Such references must be revised to reference the correct plan sheet (L3.51.)
45. Sheet C2.10: A reference is made in the area of the mechanical yard to refer to MEP plans. No such details have been provided in the plan set. Remove the reference or include referenced details in the plan set.
46. Bicycle parking calculations are provided on Sheets C0.00 and L-100. Remove bicycle parking calculations from Sheet L-100 to eliminate redundancy and reduce potential conflicts within the plans.
47. Sheet L-303: Correct plan sheet references.

**ALL COMMENTS AND REQUIREMENTS LISTED ABOVE MUST BE
COMPLIED WITH AND PROVIDED TO CITY STAFF ON OR BEFORE 4:00 PM
ON THE RESUBMISSION DATE OF AUGUST 5, 2013.**



ENG, DENMAN & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

July 12, 2013

Justin Tabor
Planner
City of Alachua
15100 Main Street
Alachua, FL 32616

RE: Engineering Review of the Nanotherapeutics Advanced Development & Manufacturing Site Plan

Mr. Tabor:

After reviewing the abovementioned plans per the request of the City of Alachua, we offer the following engineering review comments regarding the proposed Nanotherapeutics Advanced Development & Manufacturing Site Plan:

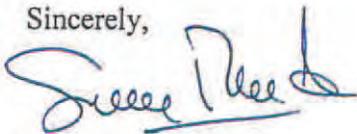
1. The application indicates that the proposed facility will be constructed in compliance with the existing Suwannee River Water Management District ERP. While this is acceptable, the applicant needs to provide the City a SRWMD ERP Exemption Letter (per Sec. 6.9.3(B)). In addition, please provide a copy of the original permit and drainage design notes (if available) to ensure that the existing piping system has capacity to accommodate the proposed improvements. Please note that because we do not have the drainage design notes for the stormwater collection system to review, we have not been able to review and comment. If requested, EDA will review this additional information after received by the City.
2. There are two existing monitoring wells located at the SW portion of parcel 03927-011-000. Please indicate what measures will protect these wells during construction.
3. Please be sure that the existing sanitary sewer manhole located west of the proposed cul-de-sac will not collect runoff from the surrounding area. Raise top of the manhole or re-grade around the manhole to avoid runoff into the sanitary manhole.
4. Provide means of blow-off for the proposed water loop line. Provide blow-off assembly and sample points at the connection points.
5. Explain how the existing water system will remain in service during construction of the proposed water system. There are other facilities downstream that require

service. Provide means of isolating proposed system from the existing system in case a problem is presented. Please provide additional valves at the connection point.

6. If bicycle parking is proposed, provide size, location and grading.
7. If waste receptacles are provided, indicate size, screening, grading and means of access without conflicting with internal circulation.
8. On Sheet C0.10, there are several references to Alachua County. As this project is located in the City of Alachua, this comment does not apply.
9. On Sheet C0.10, a note states that the MOT must be approved by FDOT. As there is no FDOT permitting required for this project, this note does not apply.
10. On Sheet C0.10, a note states that a copy of the SRWMD permit shall be provided to the contractor. As this project does not propose such permit, this note does not apply.
11. Regarding the downspout connection detail on Sheet C0.20, please make the riser and pipe connection to the proposed water system the same size.

If you have any questions regarding these comments, please do not hesitate to call our office at 373-3541.

Sincerely,

A handwritten signature in blue ink, appearing to read "Sergio Reyes". The signature is fluid and cursive, with a horizontal line underlining the name.

Sergio Reyes, P.E.
President / Principal

Nanotherapeutics Site Plan PRT Meeting

7-22-13

<u>Name</u>		
Justin Tebar	City of Alachua	386-418-6100
Adan Bakari	COA	386-418-6100
Brandon Stubb	COA	386-418-6100
Robert Walpole	CHW	352-331-1976
Donnie Ellington	Nanotherapeutics	
Joe Limpert	AET	(352) 376-5500
Jack Neale	AEI	(352) 376-5500
Kathy Winburn	COA	(386) 418-6100 x105
Mike New	CoA	(386) 418-6140

DEVELOPMENT REVIEW TEAM SUMMARY

PROJECT NAME: Nanotherapeutics Advanced Development & Manufacturing Facility

APPLICATION TYPE: Site Plan

APPLICANT/PROPERTY OWNER: Nanotherapeutics, Inc.

AGENT: Daniel Young, P.E., Causseaux, Hewett, & Walpole, Inc.

DRT MEETING DATE: July 17, 2013

DRT MEETING TYPE: Staff

FLUM DESIGNATION: Industrial

ZONING: Light & Warehouse Industrial

OVERLAY: N/A

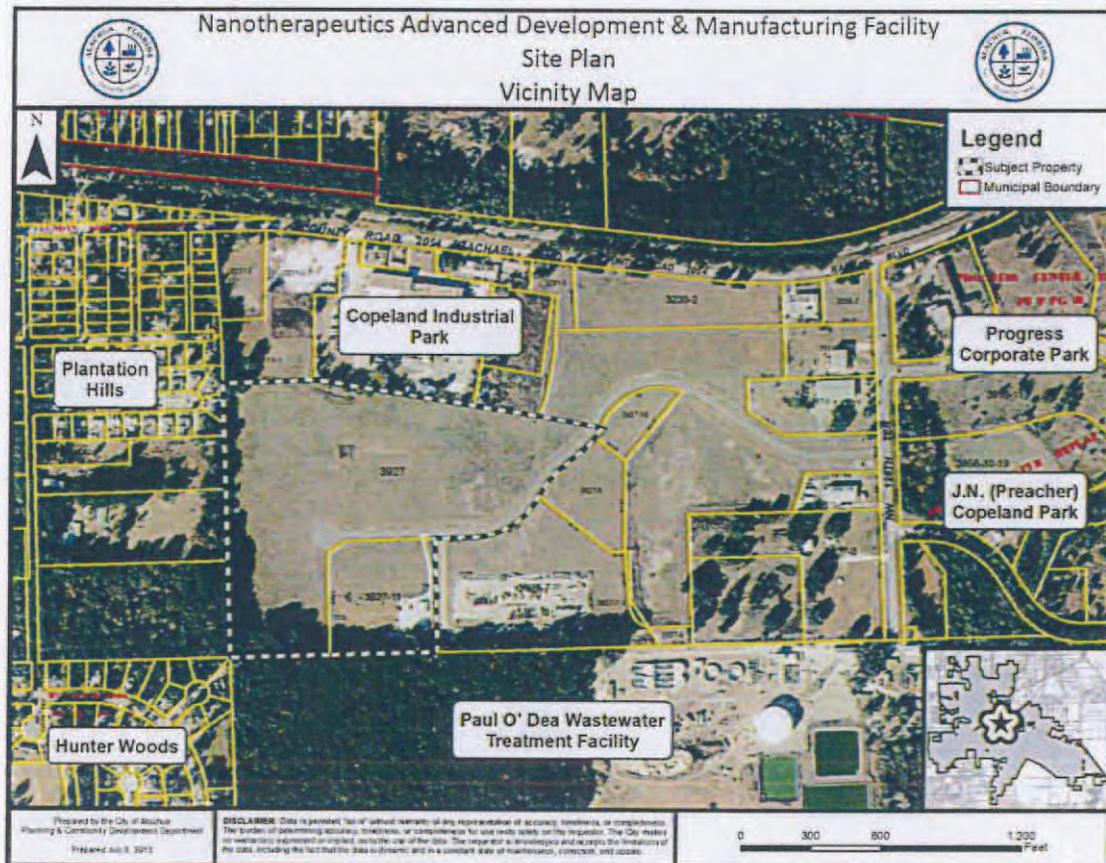
ACREAGE: ±28.07 acres

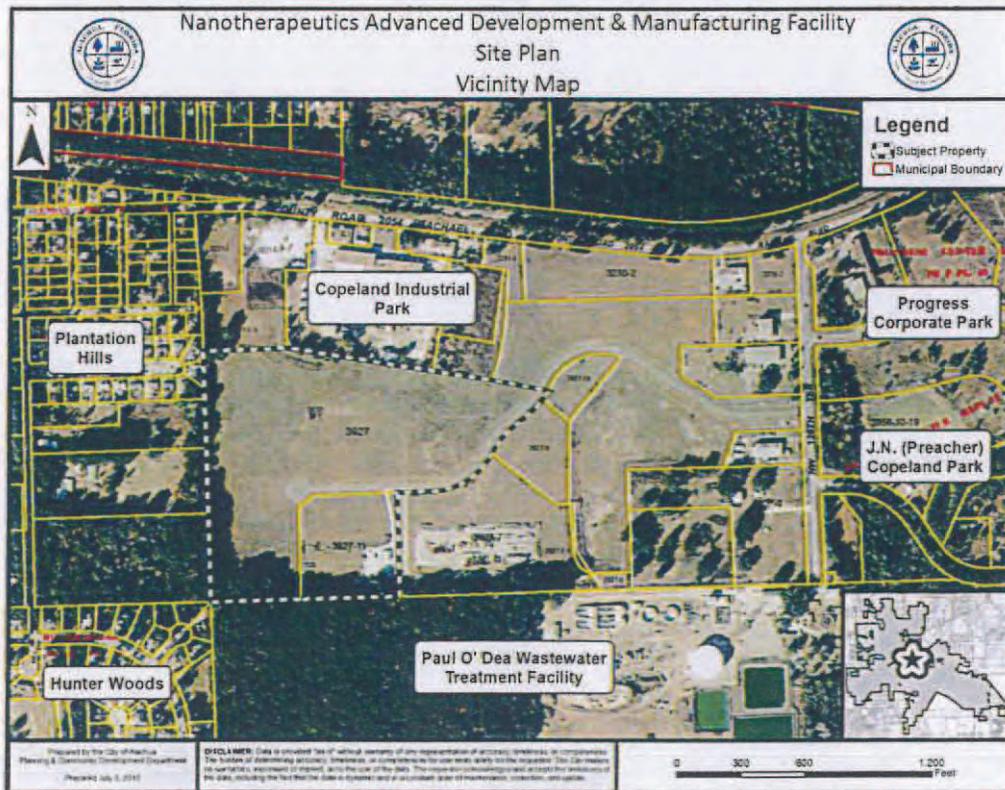
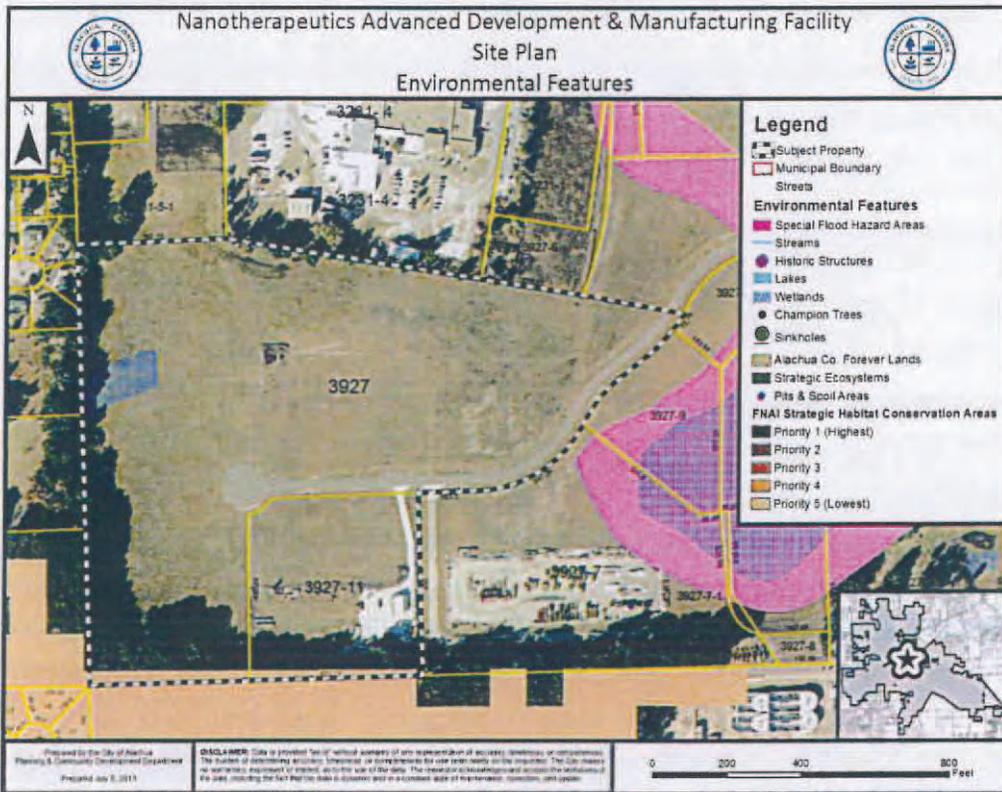
PARCEL: 03927-000-011-000 and a portion of 03927-000-000

PROJECT LOCATION: Copeland Park, west of NW 126th Terrace

PROJECT SUMMARY: A request for a Site Plan for a new ±153,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements

RESUBMISSION DUE DATE: All data, plans, and documentation addressing the insufficiencies identified below must be received by the Planning Department on or before 4:00 PM on Monday, August 5, 2013





Deficiencies to be Addressed

Easements/Legal Access Issues

1. The subject property is provided access by a 60 foot wide ingress, egress and public utilities easement. This easement is recorded in the public records of Alachua County as Exhibit "B" to the deed of Parcel #03927-000-000, as recorded in O.R. Book 3416, Page 742. The applicant must:
 - a. Prepare documentation which will vacate the portion of the easement located within the plan's project area and provide such documentation to the City for review, approval, and acceptance.
 - b. Prepare an ingress/egress easement and public utilities easement for the land which consists of the proposed cul-de-sac and provide such documentation to the City for review, approval, and acceptance.

These documents must be accepted by the City Commission and recorded in the public records of Alachua County. All costs associated with the preparation and recording of such documentation shall be incurred by the applicant.

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and the number provided for all other facades. Canopy trees required pursuant to this provision must be in addition to the minimum number of trees required by the site's overall acreage.

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The applicant must identify on Sheet L-100 which Type A buffer option (Option 1, 2 or 3) has been selected and must also provide perimeter buffer landscaping calculations on Sheet L-100.

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Existing Landscaping [Section 6.2.2(C)]:

- n. The Landscape Plan must identify all existing trees by common name. Revise the sheets with existing trees (L-101, L-104, L-107, and L-108) accordingly.

11. Sheet L-100 provides the specifications for waste receptacle screening. This information is not required on the Landscape Plan unless the applicant chooses to utilize landscaping materials to screen an outdoor waste receptacle. The plans currently do not identify any outdoor waste receptacle storage areas. If no outdoor waste receptacle storage areas are proposed for the development, the specification pertaining to such areas on Sheet L-100 is not applicable to the plans and should therefore be removed.

12. Sheet L-100 states that the minimum landscaped area required is 20%. The minimum required landscaped area, per Policy 2.4.1 of the Future Land Use Element, is 30%. Revise the minimum landscaping note and open space notes accordingly.

13. The percentage of the total proposed open space/landscape area was not provided under the associated note on Sheet L-100. Revise the note accordingly.

14. Section 6.2.2(D)(6)(b)(vi) requires an irrigation system to be used for landscaped areas. Provide an irrigation plan in the plan set or a note within the landscape plan indicating that the project's landscaped areas will be irrigated in accordance with Section 6.2.2(D)(6)(b)(vi.)

Fencing Standards

15. Section 6.3.3(B) states that fences in business districts shall not be permitted in front setback areas. The zoning of the property is Light and Warehouse Industrial (LW), which requires a front setback of 15 feet. The fence located along the front property line must therefore be set back at least 15 feet from the property line in order to comply with Section 6.3.3.(B.) The plans currently propose for fencing to be located no closer than 10 feet from the front property line. Revise the plans to comply with Section 6.3.3(B.)

Lighting Standards

16. Section 6.4.5(A)(1) requires lighting fixtures to be no more than 25 feet in height. Keynote 1 on Sheet E-101B states that loading dock lighting is mounted on 30 foot poles due to the overall size of loading dock area. Pole mounted lighting, including luminaires within the loading dock area, must comply with the height standards provided in Section 6.4.5(A)(1.) Revise the height of lighting within the loading dock area to comply with the referenced provision.
17. Keynote 1 on Sheet E-101B states that wall-mounted luminaires at the loading dock are mounted at 25 feet above finished grade. Section 6.4.5(A) states that lighting fixtures other than lighting for architectural purposes, whether mounted on poles or walls or by other means, shall be no more than 15 feet high, except for lighting in parking lots with 100 or more spaces or within historic districts. Revise the height of wall-mounted luminaires to comply with the referenced provision, and verify that wall-mounted luminaires comply with the specific criteria applicable to wall mounted lights as provided in Section 6.4.4(A.)
18. Note 1, General Notes, on Sheet E-101A states that wall-mounted luminaires are to be fully shielded. Provide detail of luminaire shielding on a typical detail of all wall-mounted luminaire types utilized on the site.
19. Section 6.4.4(B)(1) states that no light source shall be directed outward toward property boundaries or adjacent right-of-ways. There are 4 luminaires located at the project's ingress/egress points which do not comply with the referenced provision. Remove/reposition these luminaires to comply with Section 6.4.4(B)(1.)
20. To demonstrate full compliance with Sections 6.4.4 and 6.4.5, provide a standard detail for all luminaire types and dimension the height of all luminaire types.
21. To demonstrate compliance with Section 6.4.4(C), provide the maximum initial lamp lumens for each luminaire type utilized on the site.

Consistency with Other LDR Standards

22. To demonstrate compliance with the standards for outdoor storage as an accessory use provided in Section 4.4.4(E), the applicant must provide detail of the screening surrounding the mechanical yard. Such detail must include, at a minimum, an

architectural elevation depicting the area of and surrounding the mechanical yard, and must identify the height of such screening materials and the materials located within the yard.

23. Sheet C1.14 notes the location of a future guard house. Staff suggests that the location and dimensions of the future guard house be shown on this site plan. Any future addition of a guard house would otherwise require future site plan/minor site plan review and approval. (NOTE: Should the applicant choose to include the location and dimensions of the future guard house on this site plan, a building permit must be obtained for the guard house within three years of the date of the approval of this site plan. If a building permit has not been obtained within this time period, the property owner will be required to obtain site plan/minor site plan approval for the guard house.)
24. The applicant has provided a memorandum from Daniel Young, PE, which indicates that the project complies with the existing permit and design approved by the Suwannee River Water Management District (SRWMD.) The applicant must provide a letter of exemption from SRWMD which indicates that the proposed development complies with the approved permit.

Architectural Plans

25. Note 1 on Sheet C0.00 indicates that the building footprint area is 128,673 square feet, but that the building consists of a total of 153,000 square feet. The architectural floor plan does not show the mezzanine level. Revise the architectural plans to show all floors/levels of the building.
26. The elevations on Sheet A4.02 appear to be incorrectly labeled: The elevation which appears to be the East elevation is labeled as North; The elevation which appears to be the North elevation is labeled as West; The elevation which appears to be the West elevation is labeled as South; The elevation which appears to be the South elevation is labeled as East. Verify elevation labels are correct.
27. Revise the plans to include a color architectural elevation (Sheet A4.02.)

Concurrency Impact Analysis

28. Section 2.4.14(H) of the City's LDRs defines the affected roadway segments for a development generating less than or equal to 1,000 external average daily trips as those roadway segments located wholly or partially within one-half mile of the development's ingress/egress, or to the nearest intersecting major street. Policy 1.1.a of the Transportation Element identifies County-maintained collectors, including County Road 2054, as roadways monitored for concurrency. For this development, the only affected roadway segment is County Road 2054 West (from SR 235 to US Highway 441.) Revise the Concurrency Impact Analysis accordingly.

29. The applicant has based solid waste generation upon a floor area of 135,000 square feet. The correct floor area, per the plans, is 153,000 square feet. Revise the solid waste demand calculations accordingly.
30. The applicant has provided information which indicates that the total daily potable water demand shall be approximately 70,000 gallons (47,000 gallons from sanitary sewer load, plus 21,600 gallons from evaporation from cooling towers, plus 1,000 gallons from human process/consumption.) This data must be incorporated into the Concurrency Impact Analysis.

Comprehensive Plan Consistency Analysis

31. The applicant's responses to Policies 1.4.f.8. and 2.4.2 of the Future Land Use Element state that a buffer along the southern boundary will not likely be required, however, a perimeter buffer is required by Table 6.2-2 of the LDRs. Revise the Concurrency Impact Analysis accordingly.
32. In response to Objective 9.1 of the Future Land Use Element and Objective 1.2 and Policy 4.2.a of the CFNGAR Element, the applicant states that the Public Services Department has issued an "Ability to Serve" letter, however, the applicant's letter dated July 3, 2013 indicates that the applicant has requested such letter. Revise accordingly.
33. The applicant's response to Policy 1.3.a of the Future Land Use Element states that the site plan includes 153 parking spaces, however, the plans indicate 191 parking spaces are proposed. Revise accordingly.

Public Services/Outside Engineering Review Comments

34. The applicant must address the comments provided by Sergio Reyes, P.E., of Eng, Denman & Associates, Inc., in a letter dated July 12, 2013.
35. The applicant must comply with all comments provided by Mike New, P.E., Public Services Director. Comments will be provided separately in a memorandum from Mr. New.

Miscellaneous/General Issues

36. The dimensions of the structure, minimum building setbacks, and the distance between the structure and property lines must be shown on the site plan.
37. If any outdoor waste receptacles are proposed, the location of such receptacles and detail of receptacle screening must be shown on the site plan.
38. There are numerous inconsistencies in the building's size throughout the application materials (129,673 square foot building, 153,000 square foot building, etc.) The applicant must resolve all inconsistencies within the application materials.

39. Sheet 0.00: Revise document title as follows: ~~Preliminary~~/Final Development Plans.
40. Sheet 0.00, Note 8: There is a typographical error in the first line.
41. Sheet 0.00, Sheet Index: Correct typographical errors (C2.3X, A-#.)
42. Sheet C0.10, General Notes, Note 14: Remove reference to Alachua County Environmental Protection Department.
43. Sheet C0.10, Paving, Grading, and Drainage Notes, Note 8: Change reference from Alachua County Public Works Department to City of Alachua Public Services Department.
44. Numerous references are made throughout the plans to reference the architectural plans for fencing detail. Such references must be revised to reference the correct plan sheet (L3.51.)
45. Sheet C2.10: A reference is made in the area of the mechanical yard to refer to MEP plans. No such details have been provided in the plan set. Remove the reference or include referenced details in the plan set.
46. Bicycle parking calculations are provided on Sheets C0.00 and L-100. Remove bicycle parking calculations from Sheet L-100 to eliminate redundancy and reduce potential conflicts within the plans.
47. Sheet L-303: Correct plan sheet references.

**ALL COMMENTS AND REQUIREMENTS LISTED ABOVE MUST BE
COMPLIED WITH AND PROVIDED TO CITY STAFF ON OR BEFORE 4:00 PM
ON THE RESUBMISSION DATE OF AUGUST 5, 2013.**



ENG, DENMAN & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

July 12, 2013

Justin Tabor
Planner
City of Alachua
15100 Main Street
Alachua, FL 32616

RE: Engineering Review of the Nanotherapeutics Advanced Development & Manufacturing Site Plan

Mr. Tabor:

After reviewing the abovementioned plans per the request of the City of Alachua, we offer the following engineering review comments regarding the proposed Nanotherapeutics Advanced Development & Manufacturing Site Plan:

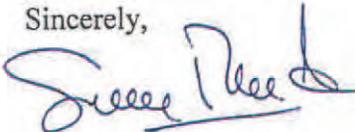
1. The application indicates that the proposed facility will be constructed in compliance with the existing Suwannee River Water Management District ERP. While this is acceptable, the applicant needs to provide the City a SRWMD ERP Exemption Letter (per Sec. 6.9.3(B)). In addition, please provide a copy of the original permit and drainage design notes (if available) to ensure that the existing piping system has capacity to accommodate the proposed improvements. Please note that because we do not have the drainage design notes for the stormwater collection system to review, we have not been able to review and comment. If requested, EDA will review this additional information after received by the City.
2. There are two existing monitoring wells located at the SW portion of parcel 03927-011-000. Please indicate what measures will protect these wells during construction.
3. Please be sure that the existing sanitary sewer manhole located west of the proposed cul-de-sac will not collect runoff from the surrounding area. Raise top of the manhole or re-grade around the manhole to avoid runoff into the sanitary manhole.
4. Provide means of blow-off for the proposed water loop line. Provide blow-off assembly and sample points at the connection points.
5. Explain how the existing water system will remain in service during construction of the proposed water system. There are other facilities downstream that require

service. Provide means of isolating proposed system from the existing system in case a problem is presented. Please provide additional valves at the connection point.

6. If bicycle parking is proposed, provide size, location and grading.
7. If waste receptacles are provided, indicate size, screening, grading and means of access without conflicting with internal circulation.
8. On Sheet C0.10, there are several references to Alachua County. As this project is located in the City of Alachua, this comment does not apply.
9. On Sheet C0.10, a note states that the MOT must be approved by FDOT. As there is no FDOT permitting required for this project, this note does not apply.
10. On Sheet C0.10, a note states that a copy of the SRWMD permit shall be provided to the contractor. As this project does not propose such permit, this note does not apply.
11. Regarding the downspout connection detail on Sheet C0.20, please make the riser and pipe connection to the proposed water system the same size.

If you have any questions regarding these comments, please do not hesitate to call our office at 373-3541.

Sincerely,

A handwritten signature in blue ink, appearing to read "Sergio Reyes". The signature is written in a cursive style with a horizontal line underneath the name.

Sergio Reyes, P.E.
President / Principal



July 12, 2013

Justin Tabor
Planner
City of Alachua
15100 Main Street
Alachua, FL 32616

RE: Engineering Review of the Nanotherapeutics Advanced Development & Manufacturing Site Plan

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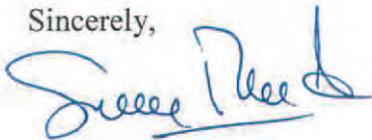
1. The application indicates that the proposed facility will be constructed in compliance with the existing Suwannee River Water Management District ERP. While this is acceptable, the applicant needs to provide the City a SRWMD ERP Exemption Letter (per Sec. 6.9.3(B)). In addition, please provide a copy of the original permit and drainage design notes (if available) to ensure that the existing piping system has capacity to accommodate the proposed improvements. Please note that because we do not have the drainage design notes for the stormwater collection system to review, we have not been able to review and comment. If requested, EDA will review this additional information after received by the City.
2. There are two existing monitoring wells located at the SW portion of parcel 03927-011-000. Please indicate what measures will protect these wells during construction.
3. Please be sure that the existing sanitary sewer manhole located west of the proposed cul-de-sac will not collect runoff from the surrounding area. Raise top of the manhole or re-grade around the manhole to avoid runoff into the sanitary manhole.
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If you have any questions regarding these comments, please do not hesitate to call our office at 373-3541.

Sincerely,

A handwritten signature in blue ink, appearing to read "Sergio Reyes".

Sergio Reyes, P.E.
President / Principal



2404 NW 43rd Street
Gainesville, FL 32606



Justin Tabor, Planner
City of Alachua
15100 Main Street
Alachua, FL 32616



32615364000





City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

July 8, 2013

VIA HAND DELIVERY

Sergio Reyes, P.E.
Eng, Denman, & Associates, Inc.
2404 NW 43rd Street
Gainesville, FL 32606

RE: Review of Nanotherapeutics Advanced Development & Manufacturing Facility – Site Plan

The City of Alachua Planning & Community Development Department requests your firm conduct an **engineering review** of the attached Site Plan, which proposes a new ±153,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements on a ±28.07 acre project site located within Copeland Park, west of NW 126th Terrace.

Please provide comments by **9:00 AM on July 17, 2013**, so that your comments may be incorporated into the City's review of this application.

If you have any questions regarding this application, please contact me at 386-418-6100 x 107.

Sincerely,

Justin Tabor, AICP
Principal Planner

c: Kathy Winburn, AICP, Planning & Community Development Director
Project File



City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

July 2, 2013

Mr. James Matthew
Nanotherapeutics, Inc.
13859 Progress Boulevard
Suite 300
Alachua, FL 32615

RE: Completeness Review for Nanotherapeutics Advanced Development & Manufacturing Facility – Site Plan

Dear Mr. Matthew:

On Jun 27, 2013, the City of Alachua received your application for a Site Plan for the Nanotherapeutics Advanced Development and Manufacturing Facility, which proposes a new ±153,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements on a ±28.07 acre project site located within Copeland Park, west of NW 126th Terrace.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the following information is needed.

The comments below are based solely on a preliminary review of your application for completeness. Detailed comments will be provided at the Development Review Team (DRT) Meeting. A DRT Meeting will be scheduled upon satisfaction of the application's completeness review deficiencies, as indicated below.

Please address the following:

Property Owner Affidavit/Agent Authorization

The applicant/contact person for the application is James Matthew, Director, Nanotherapeutics, Inc. The applicant must provide authorization for each agent which the applicant authorizes to act on its behalf for purposes of this application.

Action Needed to Address Deficiency: The applicant must provide an executed Property Owner Affidavit or written authorization which states that each agent may act on the

applicant's behalf for purposes of this application. The Property Owner Affidavit is available on the City's website at http://cityofalachua.com/images/stories/documents/pz_documents/Property Owner Affidavit.pdf.

Site Plan Attachment #1

Site Plan

Action Needed to Address Deficiency: The plans note that the drawings submitted are 60% plans. In order to facilitate adequate review of the site plan, the drawings must be considered complete. **Please clarify if the plans are in fact 60% plans or if this is an error on the plans submitted to the City.**

Site Plan Attachment #1

Site Plan including but not limited to:

- n. **Structures** and major features – **fully dimensioned** – including **setbacks**, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and floor area ratio.
- o. Location of waste receptacles and detail of waste receptacle screening.

Action Needed to Address Deficiency: The dimensions of the structure, minimum building setbacks, and the distance between the structure and property lines must be shown on the site plan. **These revisions may be incorporated into the applicant's resubmission following a Development Review Team (DRT) Meeting for the project.** In addition, the location of any waste receptacle(s) and detail of waste receptacle screening must be shown on the site plan. **Provide detail relating to the location of waste receptacle(s) and detail of waste receptacle screening at this time, so that any comments may be provided to the applicant at the project's Development Review Team (DRT) Meeting.**

Site Plan Attachment #3

Concurrency Impact Analysis showing the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools in accordance with Article 2.4.14 of the Land Development Regulations.

Action Needed to Address Deficiency: The Concurrency Impact Analysis cites three (3) attachments: Attachment A – Calculated Potable Water Usage; Attachment B – City of Alachua "Ability to Serve" Letter; and Attachment C – Calculated Sanitary Sewer Usage. The referenced attachments were not provided with the Concurrency Impact Analysis. **Provide these items at this time, so that any comments may be provided to the applicant at the project's DRT Meeting.**

Site Plan Attachment #4

Analysis of Consistency with the City of Alachua Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy.)

Action Needed to Address Deficiency: The Comprehensive Plan Consistency Analysis cites two (2) attachments: Attachment A – Zoning Verification Letter; and Attachment B – Soils

Map. The referenced attachments were not provided with the Comprehensive Plan Consistency Analysis. These revisions may be incorporated into the applicant's resubmission following a DRT Meeting for the project.

Site Plan Attachment #5

One (1) set of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits. (Obtain from the Alachua County Property Appraiser).

Action Needed to Address Deficiency: A copy of mailing labels was provided, however, the actual set of labels was not included within the original set of application materials. Provide one (1) set of labels for all property owners within 400 feet of the subject property.

Site Plan Attachment #6

Neighborhood Meeting Materials, including:

- i. Copy of the required published notice (advertisement) – must be published a newspaper of general circulation, as defined in Article 10 of the City's Land Development Regulations
- ii. Copy of written notice (letter) sent to all property owners within 400 feet, and **mailing labels or list of those who received written notice**

Action Needed to Address Deficiency: (i.) The copy of the required published notice which was provided is not legible. Provide a clear copy of the Neighborhood Meeting published notice. (ii.) A copy of mailing labels was provided, however, it is unclear if the copy of mailing labels which has been submitted was used to provide notice for the public hearing. Clarify in the application that the mailing label list which has been submitted was utilized to provide notice of the Neighborhood Meeting. These revisions may be incorporated into the applicant's resubmission following a DRT Meeting for the project.

Site Plan Attachment #7

Legal description with tax parcel number.

Action Needed to Address Deficiency: Provide a document which contains the legal description of the subject property (the property which is part of this site plan application) with tax parcel numbers on 8.5" by 11" paper. This revision may be incorporated into the applicant's resubmission following a DRT Meeting for the project.

Site Plan Attachment #9

Proof of payment of taxes.

Action Needed to Address Deficiency: The tax record for Parcel 03927-011-000 indicates that the taxes for 2012 are due. The taxes which are due for the property should be paid prior to the public hearings before the Planning & Zoning Board (PZB) and City Commission. If taxes on the property are delinquent at the time of the public hearing before the PZB and/or City Commission, Staff may recommend that any approval granted by the City Commission include a condition related to the delinquent taxes.

Site Plan Attachment #10

Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District.

Action Needed to Address Deficiency: The applicant has provided a memorandum from Daniel Young, PE, which indicates that the project complies with the existing permit and design approved by the Suwannee River Water Management District (SRWMD.) The applicant must provide a letter of exemption from SRWMD which indicates that the proposed development complies with the approved permit.

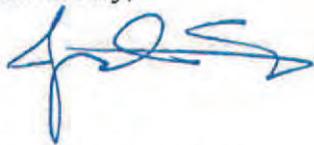
Additional Comments

A detailed review of the Site Plan and all application materials will be conducted prior to the DRT Meeting, and any necessary revisions to these materials will be requested at that time.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. *The time frame and cycle for review shall be based upon the date the application is determined to be complete.* If the applicant fails to respond to the identified deficiencies within forty-five (45) calendar days, the applications shall be considered withdrawn.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

- c: Kathy Winburn, AICP, Planning & Community Development Director
- Brandon Stubbs, Planner
- Daniel Young, P.E., Causseaux, Hewett, & Walpole, Inc.
- File



City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

INTER-OFFICE COMMUNICATION

Date: July 2, 2013

To: Kathy Winburn, AICP
Planning & Community Development Director

From: Justin Tabor, AICP *JT*
Principal Planner

RE: Completeness Review for Nanotherapeutics Advanced Development & Manufacturing Facility – Site Plan

I have reviewed the aforementioned application for completeness, pursuant to Section 2.2.6, *Determination of Completeness*, of the Land Development Regulations (LDRs), and submit the following comments based on the information required by the Site Plan Application and the Planning Department's submission policies.

In order to provide a complete application, the applicant must address the following:

Property Owner Affidavit/Agent Authorization

The applicant/contact person for the application is James Matthew, Director, Nanotherapeutics, Inc. The applicant must provide authorization for each agent which the applicant authorizes to act on its behalf for purposes of this application.

Action Needed to Address Deficiency: The applicant must provide an executed Property Owner Affidavit or written authorization which states that each agent may act on the applicant's behalf for purposes of this application. The Property Owner Affidavit is available on the City's website at http://cityofalachua.com/images/stories/documents/pz_documents/Property_Owner_Affidavit.pdf.

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Site Plan

Action Needed to Address Deficiency: The plans note that the drawings submitted are 60% plans. In order to facilitate adequate review of the site plan, the drawings must be considered complete. **Please clarify if the plans are in fact 60% plans or if this is an error on the plans submitted to the City.**

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Site Plan including but not limited to:

- n. **Structures** and major features – **fully dimensioned** – including **setbacks**, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and floor area ratio.
- o. Location of waste receptacles and detail of waste receptacle screening.

Action Needed to Address Deficiency: The dimensions of the structure, minimum building setbacks, and the distance between the structure and property lines must be shown on the site plan. These revisions may be incorporated into the applicant's resubmission following a Development Review Team (DRT) Meeting for the project. In addition, the location of any waste receptacle(s) and detail of waste receptacle screening must be shown on the site plan. **Provide detail relating to the location of waste receptacle(s) and detail of waste receptacle screening at this time, so that any comments may be provided to the applicant at the project's Development Review Team (DRT) Meeting.**

Site Plan Attachment #3

Concurrency Impact Analysis showing the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools in accordance with Article 2.4.14 of the Land Development Regulations.

Action Needed to Address Deficiency: The Concurrency Impact Analysis cites three (3) attachments: Attachment A – Calculated Potable Water Usage; Attachment B – City of Alachua "Ability to Serve" Letter; and Attachment C – Calculated Sanitary Sewer Usage. The referenced attachments were not provided with the Concurrency Impact Analysis. **Provide these items at this time, so that any comments may be provided to the applicant at the project's DRT Meeting.**

Site Plan Attachment #4

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Action Needed to Address Deficiency: The Comprehensive Plan Consistency Analysis cites two (2) attachments: Attachment A – Zoning Verification Letter; and Attachment B – Soils Map. The referenced attachments were not provided with the Comprehensive Plan Consistency Analysis. These revisions may be incorporated into the applicant's resubmission following a DRT Meeting for the project.

Site Plan Attachment #5

One (1) set of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits. (Obtain from the Alachua County Property Appraiser).

Action Needed to Address Deficiency: A copy of mailing labels was provided, however, the actual set of labels was not included within the original set of application materials. Provide one (1) set of labels for all property owners within 400 feet of the subject property.

Site Plan Attachment #6

Neighborhood Meeting Materials, including:

- i. Copy of the required published notice (advertisement) – must be published a newspaper of general circulation, as defined in Article 10 of the City’s Land Development Regulations
- ii. Copy of written notice (letter) sent to all property owners within 400 feet, and **mailing labels or list of those who received written notice**

Action Needed to Address Deficiency: (i.) The copy of the required published notice which was provided is not legible. Provide a clear copy of the Neighborhood Meeting published notice. (ii.) A copy of mailing labels was provided, however, it is unclear if the copy of mailing labels which has been submitted was used to provide notice for the public hearing. Clarify in the application that the mailing label list which has been submitted was utilized to provide notice of the Neighborhood Meeting. These revisions may be incorporated into the applicant’s resubmission following a DRT Meeting for the project.

Site Plan Attachment #7

Legal description with tax parcel number.

Action Needed to Address Deficiency: Provide a document which contains the legal description of the subject property (the property which is part of this site plan application) with tax parcel numbers on 8.5” by 11” paper. This revision may be incorporated into the applicant’s resubmission following a DRT Meeting for the project.

Site Plan Attachment #9

Proof of payment of taxes.

Action Needed to Address Deficiency: The tax record for Parcel 03927-011-000 indicates that the taxes for 2012 are due. The taxes which are due for the property should be paid prior to the public hearings before the Planning & Zoning Board (PZB) and City Commission. If taxes on the property are delinquent at the time of the public hearing before the PZB and/or City Commission, Staff may recommend that any approval granted by the City Commission include a condition related to the delinquent taxes.

Site Plan Attachment #10

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Additional Comments

A detailed review of the Site Plan and all application materials will be conducted prior to the DRT Meeting, and any necessary revisions to these materials will be requested at that time.

c: Brandon Stubbs, Planner
Project File



*Focused on Excellence
Delivered with Integrity*

July 3, 2013

Justin Tabor, AICP
Principal Planner
City of Alachua
PO Box 9
Alachua, FL 32616

Re: Nanotherapeutics ADM Facility
Site Plan

Dear Justin,

Per your letter dated July 2, 2013 requesting additional information, please find included with this letter the following items:

- Two (2) Sets of Mailing Labels;
- Eleven (11) 8.5" by 11" Legal Descriptions;
- Eleven (11) Revised Reports; and
- CD of All PDFs

For your convenience, we have provided your comments with our responses in bold.

1. Property Owner Affidavit/Agent Authorization

The applicant/contact person for the application is James Matthew, Director, Nanotherapeutics, Inc. The applicant must provide authorization for each agent which the applicant authorizes to act on its behalf for purposes of this application.

Action Needed to Address Deficiency: The applicant must provide an executed Property Owner Affidavit or written authorization which states that each agent may act on the applicant's behalf for purposes of this application. The Property Owner Affidavit is available on the City's website at http://cityofalachua.com/images/stories/documents/pz_documents/Property_Owner_Affidavit.pdf.

- ***A Per our conversation, a letter of authorization from Nanotherapeutics allowing CHW to act as their agent has been already been provided.***

Site Plan Attachment #1
Site Plan

Action Needed to Address Deficiency: The plans note that the drawings submitted are 60% plans. In order to facilitate adequate review of the site plan, the drawings must be considered complete. Please clarify if the plans are in fact 60% plans or if this is an error on the plans submitted to the City.

132 NW 76th Drive
Gainesville, Florida 32607

Phone: (352) 331-1976
Fax: (352) 331-2476
www.chw-inc.com

- **The site plans are complete. The 60% plans statement is used by the Project Architect for their submittal to the Client (i.e. revision to the interior of the building). I will ensure on our next resubmittal, following the DRT meeting, it will be 90% site plans and once approved 100% site plans.**

Site Plan Attachment #1

Site Plan including but not limited to:

- n. Structures and major features – fully dimensioned – including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and floor area ratio.
 - **The above information will be incorporated to the plans with our resubmittal following the DRT meeting.**
- o. Location of waste receptacles and detail of waste receptacle screening.
 - **The waste receptacles maybe located within the building due to the natural of the facility (Hazardous material). Should the receptacles be placed outside location and details will be added to the plans with our resubmittal following the DRT meeting.**

Action Needed to Address Deficiency: The dimensions of the structure, minimum building setbacks, and the distance between the structure and property lines must be shown on the site plan. These revisions may be incorporated into the applicant's resubmission following a Development Review Team(DRT)Meeting for the project. In addition, the location of any waste receptacle(s) and detail of waste receptacle screening must be shown on the site plan. Provided details relating to the location of waste receptacle(s)and detail of waste receptacle screening at this time, so that any comments may be provided to the applicant at the project's Development Review Team (DRT) Meeting.

Site Plan Attachment #3

Concurrency Impact Analysis showing the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools in accordance with Article 2.4.14 of the Land Development Regulations.

Action Needed to Address Deficiency: The Concurrency Impact Analysis cites three (3) attachments: Attachment A – Calculated Potable Water Usage; Attachment B – City of Alachua "Ability to Serve" Letter; and Attachment C – Calculated Sanitary Sewer Usage. The referenced attachments were not provided with the Concurrency Impact Analysis. Provide these items at this time, so that any comments may be provided to the applicant at the project's DRT Meeting.

- **The number of attachments for this analysis has been reduced to two (2). Attachment A – Calculated Potable Water Usage is now included with the application materials. Attachment B – Calculated Sanitary Sewer Usage is also now included with the application materials. CHW is working with the City to obtain an "Ability to Serve" letter. Since this has not yet been finalized, all references to this letter have been appropriately revised and/or deleted from the analysis.**

Site Plan Attachment #4

Analysis of Consistency with the City of Alachua Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy.)

Action Needed to Address Deficiency: The Comprehensive Plan Consistency Analysis cites two (2) attachments: Attachment A – Zoning Verification Letter; and Attachment B – Soils Map. The referenced attachments were not provided with the Comprehensive Plan Consistency Analysis. These revisions may be incorporated into the applicant's resubmission following a DRT Meeting for the project.

- **Attachment A – Zoning Verification Letter and Attachment B – Soils Map are now included with the application materials.**

Site Plan Attachment #5

One (1) set of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits. (Obtain from the Alachua County Property Appraiser).

Action Needed to Address Deficiency: A copy of mailing labels was provided, however, the actual set of labels was not included within the original set of application materials. Provide one (1) set of labels for all property owners within 400 feet of the subject property.

- **As per our conversation, 2 sets of mailing labels have been provided.**

Site Plan Attachment #6

Neighborhood Meeting Materials, including:

- i. Copy of the required published notice (advertisement) – must be published a newspaper of general circulation, as defined in Article 10 of the City's Land Development Regulations
- ii. Copy of written notice (letter) sent to all property owners within 400 feet, and mailing labels or list of those who received written notice

Action Needed to Address Deficiency: (i.) The copy of the required published notice which was provided is not legible. Provide a clear copy of the Neighborhood Meeting published notice. (ii.) A copy of mailing labels was provided, however, it is unclear if the copy of mailing labels which has been submitted was used to provide notice for the public hearing. Clarify in the application that the mailing label list which has been submitted was utilized to provide notice of the Neighborhood Meeting. These revisions may be incorporated into the applicant's resubmission following a DRT Meeting for the project.

- **Yes, the mailing list that is included in the application was used to send notifications to surrounding property owners about the Neighborhood Workshop. A distance of 415-feet from the parcel boundaries of Parcels 03927-000-000 and 03927-011-000 was used to create the list.**

Site Plan Attachment #7

Legal description with tax parcel number.

Action Needed to Address Deficiency: Provide a document which contains the legal description of the subject property (the property which is part of this site plan application) with tax parcel numbers on 8.5" by 11" paper. This revision may be incorporated into the applicant's resubmission following a DRT Meeting for the project.

- **Legal Description with tax parcel number on 8.5" by 11" paper has been provided.**

Site Plan Attachment #9

Proof of payment of taxes.

Action Needed to Address Deficiency: The tax record for Parcel 03927-011-000 indicates that the taxes for 2012 are due. The taxes which are due for the property should be paid prior to the public hearings before the Planning & Zoning Board (PZB) and City Commission. If taxes on the property are delinquent at the time of the public hearing before the PZB and/or City Commission, Staff may recommend that any approval granted by the City Commission include a condition related to the delinquent taxes.

- **Payment of the property taxes will be completed prior to the Planning and Zoning Board meeting. A copy of the paid tax bill will be submitted once received.**

Site Plan Attachment #10

Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District.

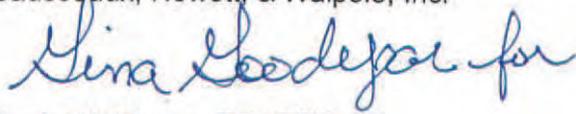
Action Needed to Address Deficiency: The applicant has provided a memorandum from Daniel Young, PE, which indicates that the project complies with the existing permit and design approved by the Suwannee River Water Management District (SRWMD.) The applicant must provide a letter of exemption from SRWMD which indicates that the proposed development complies with the approved permit.

- **Currently the project is under review with Suwannee River Water Management District. Once a permit is received a copy will be submitted to the City for their record. Please note that per House Bill 503, the City cannot condition their development approval/permit on an applicant obtaining a permit or approval from any other state or federal agency.**

Should you have any questions or require additional information, please do not hesitate to contact me at 352-519-5940 or daniely@chw-inc.com.

Sincerely,

Causeaux, Hewett, & Walpole, Inc.

A handwritten signature in blue ink that reads "Gina Gooden for". The signature is written in a cursive style.

Daniel H. Young, PE LEED AP
Project Manager



*Focused on Excellence
Delivered with Integrity*

RECEIVED

JUN 27 2013

Per _____

June 26, 2013

Kathy Winburn
Office of Planning and Zoning
City of Alachua
P.O. Box 9
Alachua, Florida 32615

RE: Nano ADM Facility
(Portion of Tax Parcel #03927-000-000 and TP#03927-011-000)
Alachua, Florida

Dear Ms. Winburn:

Please find the following enclosed for review and approval for the above reference project:

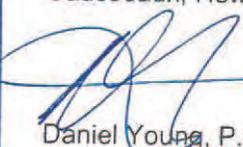
- One (1) application fee in the amount of \$2,300.00 made payable to the City of Alachua;
- One (1) original and twelve (12) Reports which includes the Comprehensive Plan Consistency Analysis, Concurrency Impact Analysis, Site Plan Application, Stormwater Management Memo, Proof of Neighborhood Workshop and Advertisement, Labels, Tax Parcel Information, Proof of Ownership and Proof of Payment of taxes, etc;
- Thirteen (13) sets of Construction Plans; and
- One (1) CD of all PDFs

We submit the above mentioned items to request review of the site plans for the referenced project.

This project consists of the construction of a +/- 153,000 sf advanced development and manufacturing facility with associated stormwater conveyance system, utilities, and parking area. The approximate 28.07 acre project site is located in the Copeland Park complex on NW 126th Terrace.

Please feel free to contact me at (352) 519-5940 or at daniely@chw-inc.com, should you have any questions or require any additional information to complete your review and approval of this project.

Sincerely,
Causseaux, Hewett, & Walpole, Inc.


Daniel Young, P.E., LEED AP
Project Engineer

G:\Q05\2013\13-0178\City_County\LTR_130626_Nano_ADM_CoA_Cover_Letter.doc

132 NW 76th Drive
Gainesville, Florida 32607

Phone: (352) 331-1976
Fax: (352) 331-2476
www.chw-inc.com

2013 FOREIGN PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# F09000002478

Entity Name: NANOTHERAPEUTICS, INC.

FILED
Jan 23, 2013
Secretary of State

Current Principal Place of Business:

13859 PROGRESS BLVD.
SUITE 300
ALACHUA, FL 32615

Current Mailing Address:

13859 PROGRESS BLVD.
SUITE 300
ALACHUA, FL 32615 US

FEI Number: 59-3615370

Certificate of Status Desired: Yes

Name and Address of Current Registered Agent:

TALTON, JAMES D
13859 PROGRESS BLVD
SUITE 300
ALACHUA, FL 32615 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: _____

Electronic Signature of Registered Agent

_____ Date

Officer/Director Detail Detail :

Title	PCD	Title	D
Name	TALTON, JAMES DPHD	Name	MATTHEW, JAMES M
Address	13859 PROGRESS BLVD., SUITE 300	Address	13859 PROGRESS BLVD., SUITE 300
City-State-Zip:	ALACHUA FL 32615	City-State-Zip:	ALACHUA FL 32615

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JAMES D TALTON

PRESIDENT

01/23/2013

Electronic Signature of Signing Officer/Director Detail

_____ Date

2013 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L06000044225

Entity Name: ADC DEVELOPMENT & INVESTMENT GROUP, LLC.

Current Principal Place of Business:

12469 W SR 100
LAKE BUTLER, FL 32054

Current Mailing Address:

P.O. BOX 238
LAKE BUTLER, FL 32054 US

FEI Number: 20-4798771

Certificate of Status Desired: Yes

Name and Address of Current Registered Agent:

ROBERTS, AVERY C
12469 W SR 100
LAKE BUTLER, FL 32054 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

Manager/Member Detail Detail :

Title MGRM
Name ROBERTS, AVERY C
Address PO BOX 233
City-State-Zip: LAKE BUTLER FL 32054

Title MGRM
Name OSTEEN, DEXTER A
Address 16707 NW CR 241
City-State-Zip: ALACHUA FL 32615

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath, that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 608, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: AVERY C ROBERTS

MGRM

04/01/2013

Electronic Signature of Signing Manager/Member Detail

Date

2013 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L08000097436

Entity Name: SPEAR COPELAND, LLC

Current Principal Place of Business:

2225 NW 66TH COURT
GAINESVILLE, FL 32653

Current Mailing Address:

2225 NW 66TH COURT
GAINESVILLE, FL 32653 US

FILED
Apr 25, 2013
Secretary of State

FEI Number: 26-3570102

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

SPEAR, ALLAN III
2225 NW 66TH COURT
GAINESVILLE, FL 32653 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: _____

Electronic Signature of Registered Agent

_____ Date

Manager/Member Detail Detail :

Title MGRM
Name ALLAN SPEAR III TRUST
Address 2225 NW 66TH COURT
City-State-Zip: GAINESVILLE FL 32653

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 608, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: ALLAN SPEAR III

MEMBER

04/25/2013

Electronic Signature of Signing Manager/Member Detail

Date

AFFIDAVIT FOR POSTED LAND USE SIGN

I Jason Shas, POSTED THE LAND USE
(name)
SIGN ON 8/26/2013 FOR THE NANOTHERAPEUTICS, INC. SITE PLAN
(date) (state type of action and project name)
LAND USE ACTION.

AS PER ARTICLE 2.2.9 D OF THE LAND DEVELOPMENT REGULATIONS.

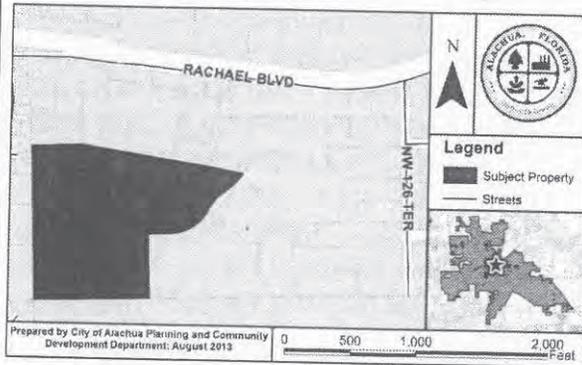
THIS WILL BE INCLUDED IN THE STAFF REPORT.


(signature)

Six (6)
(number of signs)

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the Planning and Zoning Board of the City of Alachua will hold a public hearing on September 10, 2013 at 6:30 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located at 15100 NW 142nd Terrace, Alachua, Florida, to consider the following: A request by Causseaux, Hewett, & Walpole, Inc., agent for Nanotherapeutics, Inc., applicant, and ADC Development & Investment Group, LLC and Spear Copeland, LLC, property owners, for consideration of a Site Plan for a proposed ±165,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements on a ±28.07 acre subject property, located west of NW 126th Terrace and south of County Road 2054 (Rachael Boulevard) within Copeland Industrial Park; Tax Parcel No. 03927-000-011-000 and a portion of Tax Parcel No. 03927-000-000; FLUM: Industrial; Zoning: Light and Warehouse Industrial (ILW.)



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 101 at least 48 hours prior to the public hearing.

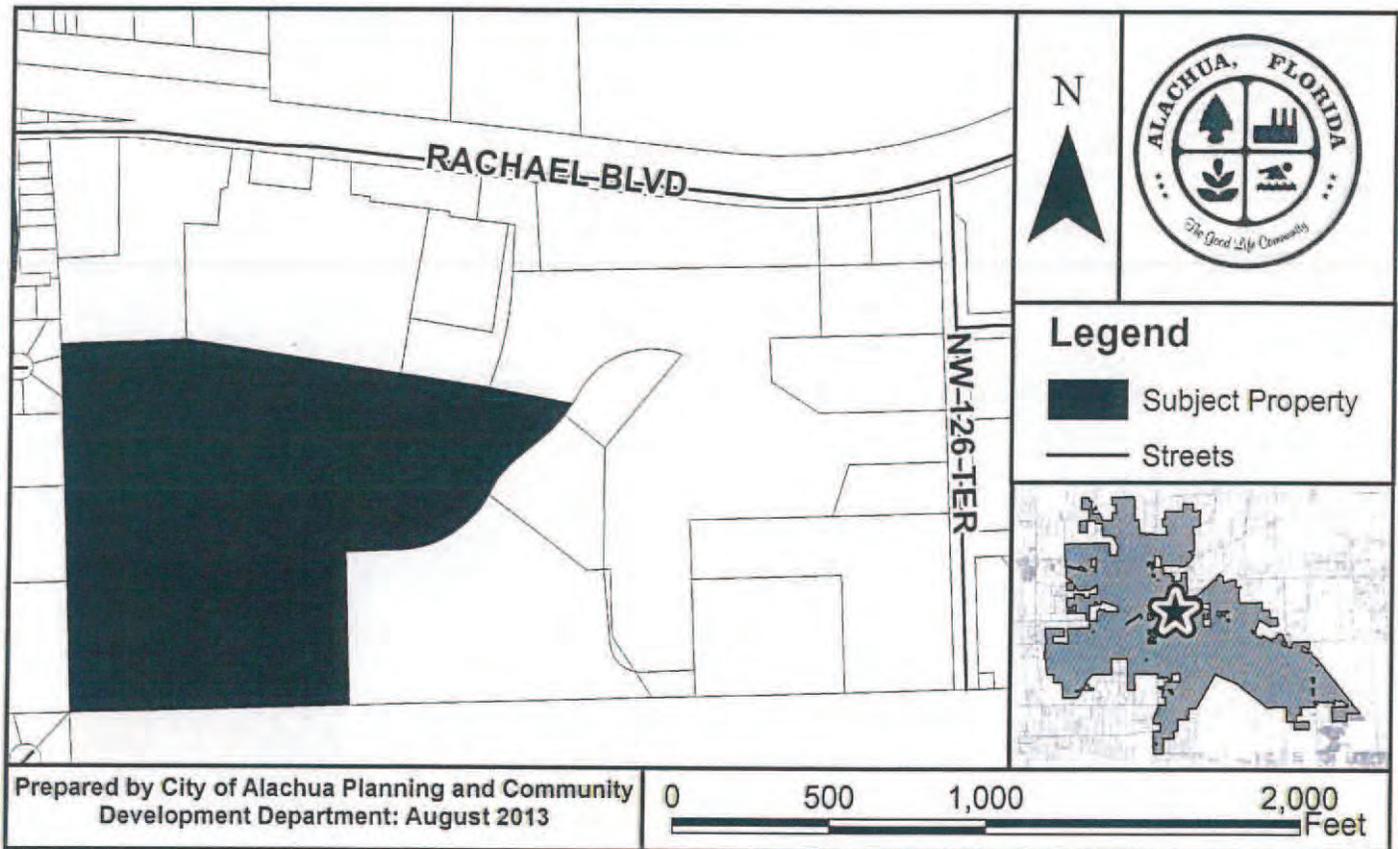


Opportunities available

For more information or contact Josh D' Agostino

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September 10, 2013 at 6:30 p.m.

MH 8/26/13

03229-002-000
THE CHRISTOPHER CORPORATION
PO BOX 1000
ALACHUA, FL 32616

03229-003-000
PHOENIX COMMERCIAL PARK
PO BOX 1000
ALACHUA, FL 32616

03230-002-000
GROUP LLC ADC DEVELOPMENT &
INVESTMENT
PO BOX 238
LAKE BUTLER, FL 32054

03230-002-001
PETRA HOLDINGS COMPANY LLC
12775 RACHEL BLVD
ALACHUA, FL 32615-6698

03231-001-000
INC BARBER LUMBER SALES OF
ALACHUA
PO BOX 263
ALACHUA, FL 32616-0263

03231-002-000
GLENN BLUMBERG
11421 NW 120TH TER
ALACHUA, FL 32615

03231-004-000
DUAL ENTERPRISES LLC
PO BOX 1808
ALACHUA, FL 32616

03231-005-000
GROUP LLC ADC DEVELOPMENT &
INVESTMENT
PO BOX 238
LAKE BUTLER, FL 32054

03231-005-001
RBC BANK
301 FAYETTEVILLE ST STE 1200
RALEIGH, NC 27601

03507-001-000
SAKICHAND DALCHAND
10304 W STATE ROAD 235
ALACHUA, FL 32615-4942

03508-001-000
JOHNNIE LEE BROWN
PO BOX 213
ALACHUA, FL 32616-0213

03511-000-000
CHRISTINE F HOWARD
PO BOX 913
ALACHUA, FL 32616-0913

03516-000-000
CAROLYN L HEIRS WALLACE
6003 WABASH RD
ORLANDO, FL 32807

03517-000-000
BARBARY & SIMMONS
PO BOX 812
ALACHUA, FL 32616-0812

03518-001-000
FLORA M BRYANT
PO BOX 556
ALACHUA, FL 32616-0556

03518-002-000
PERNOLA G BARBARY
PO BOX 812
ALACHUA, FL 32616-0812

03934-001-020
JENKINS ALLEN & ALLEN &
FREENEY &
12008 NW 148TH PL
ALACHUA, FL 32615

03934-001-021
SHENITTA L DANIELS
PO BOX 1558
ALACHUA, FL 32616-1558

03934-001-022
CORINE C LIFE ESTATE
BROCKINGTON
PO BOX 122
LACROSSE, FL 32658

03934-001-023
ENLOE & MAMMINO
14293 NW 159TH LN
ALACHUA, FL 32615

03934-001-024
FRANCES T YOUNG
PO BOX 1633
ALACHUA, FL 32616-1633

03934-001-025
SHANTAN K GEORGE
13613 NW 141ST PL
ALACHUA, FL 32615

03934-001-026
KEEGAN D GAY
13617 NW 141ST PL
ALACHUA, FL 32615

03934-002-000
CHARLOTTE ELIZABETH LIFE EST
HAGAN
14013 NW 138TH ST
ALACHUA, FL 32615

03934-003-000
JAMES CASEY JONES & JONES &
JONES
PO BOX 373
ALACHUA, FL 32616-0373

03934-001-014
VERONICA GRAHAM
PO BOX 2304
ALACHUA, FL 32615

03934-001-015
ARCHIE-BOTHNER ARCHIE &
ARCHIE & ARCHIE &
13612 NW 141ST PL
ALACHUA, FL 32615

03934-001-016
LOIS BIRENBAUM & NORWITZ
25414 NW COOUNTY RD 241
ALACHUA, FL 32615

03934-001-017
LIZA J VILLALOBOS
13528 NW 141ST PL
ALACHUA, FL 32616

03934-001-018
BETTY HEIRS HODGE
13514 NW 141ST PL
ALACHUA, FL 32615

03956-010-018
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616

03956-010-019
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616

03956-010-038
OWNERS ASSOCIATION INC
PROGRESS CENTER PROPERTY
BOX 35
ALACHUA, FL 32615

03956-011-000
TRUST SNH MEDICAL OFFICE
PROPERTIES
255 WASHINGTON ST STE 300
NEWTON, MA 02458

92060-517-900
CSX TRANSPORTATION INC
500 WATER ST
JACKSONVILLE, FL 32202-4423

ANTOINETTE ENDELICATO
5562 NW 93RD AVENUE
GAINESVILLE, FL 32653

DAN RHINE
288 TURKEY CREEK
ALACHUA, FL 32615

BILL ATWATER
6017 NW 115TH PLACE
ALACHUA, FL 32615

TOM GORMAN
9210 NW 59TH STREET
ALACHUA, FL 32653

RICHARD GORMAN
5716 NW 93RD AVENUE
ALACHUA, FL 32653

PEGGY ARNOLD
410 TURKEY CREEK
ALACHUA, FL 32615

DAVID FOREST
23 TURKEY CREEK
ALACHUA, FL 32615

JOHN TINGUE
333 TURKEY CREEK
ALACHUA, FL 32615

PRESIDENT
TCMOA
1000 TURKEY CREEK
ALACHUA, FL 32615

LINDA DIXON, AICP
ASSISTANT DIRECTOR PLANNING
PO BOX 115050
GAINESVILLE, FL 32611

CRAIG PARENTEAU
FL DEPT OF ENV PROTECTION
4801 CAMP RANCH ROAD
GAINESVILLE, FL 32641

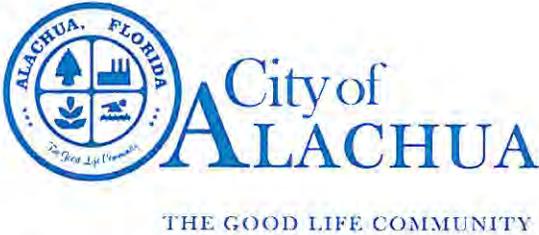
LAURA WILLIAMS
12416 NW 148TH AVENUE
ALACHUA, FL 32615

JEANNETTE HINSDALE
P.O. BOX 1156
ALACHUA, FL 32616

Lynn Coullias
7406 NW 126th Ave
Alachua, FL 32615

Lynda Coon
7216 NW 126th Ave
Alachua, FL 32615

03934-001-019 H/W JENKINS & MCDANIEL-JENKINS 13510 NW 141ST PL ALACHUA, FL 32616	03927-007-001 GROUP LLC ADC DEVELOPMENT & INVESTMENT PO BOX 238 LAKE BUTLER, FL 32054	03927-008-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601
03927-009-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601	03927-010-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601	03927-011-000 SPEAR COPELAND LLC 2225 NW 66TH CT GAINESVILLE, FL 32653
03931-010-012 ANGELA FORD 13604 NW 137TH PL ALACHUA, FL 32615	03931-010-013 BRUCE D JOHNSON 13558 NW 137TH PL GAINESVILLE, FL 32615	03931-010-014 LESLIE & POURCHOT-LESLIE H/W 17763 NW 105TH TER ALACHUA, FL 32615-5610
03931-010-015 DAVID S BISHOP 13530 NW 137TH PL ALACHUA, FL 32615-6200	03931-010-016 GEORGIA A GRIFFIN 13510 NW 137TH PL ALACHUA, FL 32615	03931-010-017 CAROLYN A MITCHELL 13505 NW 137TH PL ALACHUA, FL 32615
03931-010-018 PERCIVAL I FRANCIS 13521 NW 137TH PL ALACHUA, FL 32615	03931-010-019 VINTRICE VERONICA REINKE 13533 NW 137TH PL ALACHUA, FL 32615	03927-000-000 GROUP LLC ADC DEVELOPMENT & INVESTMENT PO BOX 238 LAKE BUTLER, FL 32054
03927-001-000 DAMON NANOSONIC PRODUCTS INC 27317 NW 78TH AVE HIGH SPRINGS, FL 32643	03927-002-000 KOOZ PROPERTIES LLC 2815 NW 13TH ST STE 423 GAINESVILLE, FL 32609	03927-003-000 KOOZ PROPERTIES LLC 2815 NW 13TH ST STE 423 GAINESVILLE, FL 32609
03927-004-000 BB&C LLC 14000 NW 126TH TER ALACHUA, FL 32615	03927-005-000 CV II PARTNERSHIP 4656 34TH ST SOUTHWEST ORLANDO, FL 32811	03927-006-000 ALACHUA INC BARBER LUMBER SALES OF PO BOX 263 ALACHUA, FL 32616-0263
03927-007-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601	03929-001-000 CITY OF ALACHUA PO BOX 9 ALACHUA, FL 32616-0009	03934-001-001 NOLA L TOUCHE 13515 NW 142ND AVE ALACHUA, FL 32615
03934-001-002 JIMMY L WALKER 13521 NW 142ND AVE ALACHUA, FL 32615	03934-001-003 LENORA CAFFIE PO BOX 1441 ALACHUA, FL 32616-1441	03934-001-004 WAYNE P PORTER PO BOX 913 ALACHUA, FL 32616-0913
03956-010-004 STATE OF FLA IIF % DEP-3900 COMMONWEALTH BLVD TALLAHASSEE, FL 32399	03933-000-000 GREEN HILL OF ALACHUA INC PO BOX 1445 ALACHUA, FL 32616	03934-000-000 GREEN HILL OF ALACHUA INC PO BOX 1445 ALACHUA, FL 32616



FOR PLANNING USE ONLY	
Case #:	_____
Application Fee: \$	_____
Filing Date:	_____
Acceptance Date:	_____
Review Type: P&Z	

Site Plan Application

Reference City of Alachua Land Development Regulations Article 2.4.9

A. PROJECT

- Project Name: Nanotherapeutics Advanced Development & Manufacturing Facility
- Address of Subject Property: Copeland Industrial Park
- Parcel ID Number(s): A portion of 03927-000-000 and all of 03927-011-000
- Existing Use of Property: Vacant
- Future Land Use Map Designation: Industrial
- Zoning Designation: ILW
- Acreage: 28.07

B. APPLICANT

- Applicant's Status Owner (title holder) Agent
- Name of Applicant(s) or Contact Person(s): James Matthew Title: Director
 Company (if applicable): Nanotherapeutics, Inc.
 Mailing address: 13859 Progress Blvd. , Suite 300
 City: Alachua State: Florida ZIP: 32615
 Telephone: () 386-462-9663 FAX: () e-mail: jmatthew@nanotherapeutics.com
- If the applicant is agent for the property owner*:
 Name of Owner (title holder): There are 2 owners - see attached sheet for Owner information.
 Mailing Address: _____
 City: _____ State: _____ ZIP: _____
 * Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

- Is there any additional contact for sale of, or options to purchase, the subject property? Yes No
 If yes, list names of all parties involved: Nanotherapeutics, ADC Development and Spear Copeland LLC
 If yes, is the contract/option contingent or absolute? Contingent Absolute

D. ATTACHMENTS

- Site Plan including but not limited to:
 - Name, location, owner, and designer of the proposed development.
 - Zoning of the subject property.
 - Vicinity map - indicating general location of the site and all abutting streets and properties.
 - Complete legal description.
 - Statement of Proposed Uses.
 - Location of the site in relation to adjacent properties, including the means of ingress and egress to such properties and any screening or buffers along adjacent properties.
 - Date, north arrow, and graphic scale (not to exceed one (1) inch equal to fifty (50) feet.)
 - Area and dimensions of site.
 - Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - Access and points of connection to utilities (electric, potable water, sanitary sewer, gas, etc.)
 - Location and dimensions of all existing and proposed parking areas and loading areas.
 - Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas) with detail illustrating compliance with Section 6.2.2 of the Land Development Regulations.

- m. Location and size of any lakes, ponds, canals, or other waters and waterways.
- n. Structures and major features – fully dimensioned – including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and floor area ratio.
- o. Location of waste receptacles and detail of waste receptacle screening.
- p. For development consisting of one or more of the following: Multi-family residential; Hotel; or Mobile Home Park:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Floor area of dwelling units.
 - vi. Number of proposed parking spaces.
 - vii. Street layout.
 - viii. Layout of mobile home stands (for mobile home parks only).
 - ix. City of Alachua Public School Student Generation Form.

Sheet Size: 24" X 36" with 3" left margin and ½" top, bottom, and right margins

- 2. Stormwater management plan - including the following:
 - a. Existing contours at one (1) foot intervals based on U.S. Coastal and Geodetic Datum.
 - b. Proposed finished floor elevation of each building site.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water Management District surfacewater management Statement of proposed uses on the site plan
- 3. Concurrency Impact Analysis showing the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools in accordance with Article 2.4.14 of the Land Development Regulations.
- 4. Analysis of Consistency with the City of Alachua Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy.)

For commercial project Applications:

- a. In addition to submitting specific written information regarding your **commercial** development's compliance with the relevant Goals, Objectives, and Policies of the City of Alachua Comprehensive Plan, you must respond directly to the standards listed below. You should be specific in terms of how your commercial development will comply with these standards.

Policy 1.3.d Design and performance standards

The following criteria shall apply when evaluating commercial development proposals:

- 1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;
- 2. Buffering from adjacent existing/potential uses;
- 3. Open space provisions and balance of proportion between gross floor area and site size;
- 4. Adequacy of pervious surface area in terms of drainage requirements;
- 5. Placement of signage;
- 6. Adequacy of site lighting and intrusiveness of lighting upon the surrounding area;
- 7. Safety of on-site circulation patterns (patron, employee and delivery vehicles), including parking layout and drive aisles, and points of conflict;
- 8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations;
- 9. Unique features and resources which may constrain site development, such as soils, existing vegetation and historic significance; and
- 10. Performance based zoning requirements, which may serve as a substitute for or accompany land development regulations in attaining acceptable site design.
- 11. Commercial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres but 5 acres or greater, a .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio to parcels 1 acre or less.

For industrial project Applications:

- b. In addition to submitting specific written information regarding your **industrial** development's compliance with the relevant Goals, Objectives, and Policies of the City of Alachua Comprehensive Plan, you must respond directly to the standards listed below. You should be specific in terms of how your industrial development will comply with these standards.

Policy 1.4.f

The City shall develop performance standards for industrial uses in order to address the following:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;
 2. Buffering from adjacent existing/potential uses;
 3. Open space provisions and balance of proportion between gross floor area and site size;
 4. Adequacy of pervious surface area in terms of drainage requirements;
 5. Placement of signage;
 6. Adequacy of site lighting and intrusiveness of lighting upon the surrounding area;
 7. Safety of on-site circulation patterns (patron, employee and delivery vehicles, trucks), including parking layout and drive aisles, and points of conflict;
 8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations;
 9. Unique features and resources which may constrain site development, such as soils, existing vegetation and historic significance; and
 10. Performance based zoning requirements that may serve as a substitute for or accompany land development regulations in attaining acceptable site design.
 11. Industrial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres by 5 acres or greater, .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio for parcels 1 acre or less.
5. One (1) set of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits. (Obtain from the Alachua County Property Appraiser).
 6. Neighborhood Meeting Materials, including:
 - i. Copy of the required published notice (advertisement) – must be published a newspaper of general circulation, as defined in Article 10 of the City's Land Development Regulations
 - ii. Copy of written notice (letter) sent to all property owners within 400 feet, and mailing labels or list of those who received written notice
 - iii. Written summary of meeting – must include (1) those in attendance; (2) a summary of the issues related to the development proposal discussed; (3) comments by those in attendance about the development proposal; and, (4) any other information deemed appropriate.
 7. Legal description with tax parcel number.
 8. Proof of ownership.
 9. Proof of payment of taxes.
 10. Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District.
 11. If access is from a County Road, access management permit from Alachua County Public Works (or documentation providing evidence that a permit application has been submitted).
 12. If access is from a State Road, access management permit from Florida Department of Transportation (or documentation providing evidence that a permit application has been submitted).
 13. **Fee.** Please see fee schedule for fee determination. No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any necessary technical review or additional reviews of the application beyond the initial engineering review fee will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any legislative and/or quasi-judicial action of any kind on the petition, appeal, or development application.

All 13 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.

Jim Matthew
Signature of Applicant

Signature of Co-applicant

Jim Matthew, Director
Typed or printed name and title of applicant

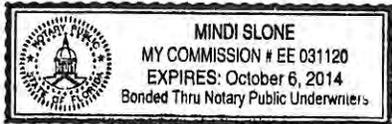
Typed or printed name of co-applicant

State of Florida County of Alachua

The foregoing application is acknowledged before me this 24 day of June, 2013, by James

Matthew, who is/are personally known to me, or who has/have produced _____
as identification.

Mindi Slone
Signature of Notary Public, State of Florida



City of Alachua – Site Plan Application

For

Nanotherapeutics Advanced Development & Manufacturing Facility

Section B, #3 Property Owner Information

1. ADC Development & Investment Group, LLC
PO Box 238
Lake Butler, FL 32054

Portion of TP#03927-000-000

2. Spear Copeland, LLC
2225 NW 66th Court
Gainesville, FL 32653

TP#03927-011-000

ADC DEVELOPMENT & INVESTMENT GROUP, LLC.

P.O. BOX 238

LAKE BUTLER, FLORIDA 32054

(386) 496-3509

Fax: (386) 496-4309

June 24, 2013

City of Alachua
15100 NW 142nd Terrace
Alachua, FL 32615

Suwannee River Water Management District
9225 CR 49
Live Oak, FL 32060

Florida Department of Environmental Protection
8800 Baymeadows Way West, Suite 100
Jacksonville, FL 32256

Re: Nanotherapeutics – ADM Facility
Portion of TP# 03927-000-000

Dear Staff,

Please allow Nanotherapeutics, Inc. to act as applicant and Causseaux, Hewett & Walpole, Inc. to act as agent for design documentation, application and plans as required to apply for and obtain permits from the City of Alachua, Suwannee River Water Management District and the Florida Department of Environmental Protection as well as to allow access to the property referenced above on behalf of ADC Development & Investment Group LLC.

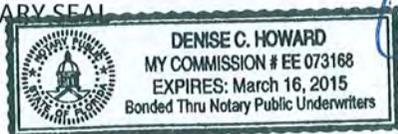
Sincerely,
ADC Development & Investment Group LLC

Avery C. Roberts
Managing Member

State of Florida
County of Union

The foregoing affidavit is acknowledged before me this 24th day of June, 2013 by Avery C. Roberts, Managing Member of ADC Development & Investment Group, LLC, who is / are personally known to me or who has / have produced _____ as identification.

NOTARY SEAL



Signature of Notary Public, State of Florida

SPEAR COPELAND, LLC
2225 NW 66th Court
Gainesville, Florida 32653
(352) 337-0773
Fax: (352) 337-0788

June 24, 2013

City of Alachua
15100 NW 142nd Terrace
Alachua, FL 32615

Suwannee River Water Management District
9225 CR 49
Live Oak, FL 32060

Florida Department of Environmental Protection
8800 Baymeadows Way West, Suite 100
Jacksonville, FL 32256

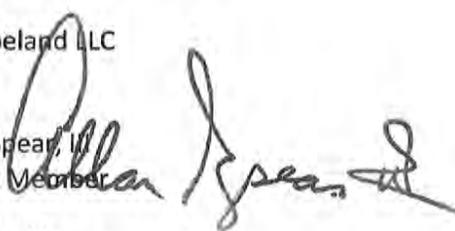
Re: Nanotherapeutics – ADM Facility
TP# 03927-011-000

Dear Staff,

Please allow Nanotherapeutics, Inc. to act as applicant and Causseaux, Hewett & Walpole, Inc. to act as agent for design documentation, application and plans as required to apply for and obtain permits from the City of Alachua, Suwannee River Water Management District and the Florida Department of Environmental Protection as well as to allow access to the property referenced above on behalf of Spear Copeland LLC.

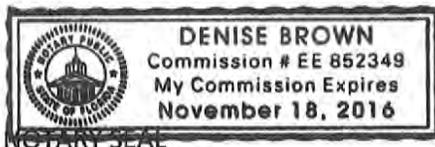
Sincerely,
Spear Copeland LLC

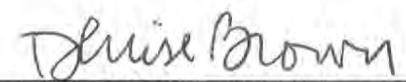
Allan W. Spear, III
Managing Member



State of Florida
County of Alachua

The foregoing affidavit is acknowledged before me this 24th day of June, 2013 by Allan W. Spear, III, Managing Member of Spear Copeland, LLC, who is / are personally known to me or who has / have produced _____ as identification.




Signature of Notary Public, State of Florida

July 2, 2013

City of Alachua
15100 NW 142nd Terrace
Alachua, FL 32615Suwannee River Water Management District
9225 CR 49
Live Oak, FL 32060Florida Department of Environmental Protection
8800 Baymeadows Way West, Suite 100
Jacksonville, FL 32256

Re: Nanotherapeutics – ADM Facility

Dear Staff,

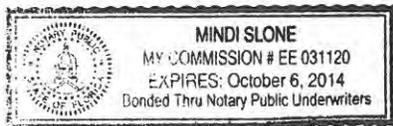
Please allow Causseaux, Hewett & Walpole, Inc. to act as agent for Nanotherapeutics, Inc. for design documentation, application and plans as required to apply for and obtain permits from the City of Alachua, Suwannee River Water Management District and the Florida Department of Environmental Protection as well as to allow access to the property referenced above on behalf of Nanotherapeutics, Inc.

Sincerely,

Nanotherapeutics, Inc.

James M. Matthew
Chief Financial Officer

The foregoing affidavit is acknowledged before me this 3 day of July, 2013 by James Matthew who is / are personally known to me or who has / have produced _____ as identification.



NOTARY SEAL



Signature of Notary Public, State of Florida



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Delivered with Integrity*

LEGAL DESCRIPTION

July 3, 2013

PROJECT NO: 13-0178

DESCRIPTION FOR: NANOTHERAPUTICS PARCEL, A PORTION OF TAX PARCEL 03927-000-000

DESCRIPTION:

A PARCEL OF LAND SITUATED IN THE NORTH HALF OF SECTION 23 TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A TRACT OF LAND SITUATED IN SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23, FOR THE POINT OF REFERENCE; THENCE SOUTH 88°59'32" WEST, ALONG THE SOUTH LINE OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23, A DISTANCE OF 40.00 FEET TO THE SOUTHEAST CORNER OF LANDS DESCRIBED IN EXHIBIT "B" OF OFFICIAL RECORDS BOOK 2336, PAGE 2030 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 89°09'48" WEST, ALONG THE SOUTH LINE OF SAID LANDS AND ALONG THE SOUTH LINE OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23, A DISTANCE OF 824.69 FEET TO THE SOUTHWEST CORNER OF LAND AS DESCRIBED IN EXHIBIT "A" OF SAID OFFICIAL RECORDS BOOK 2336, PAGE 2030; THENCE SOUTH 89°08'48" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 455.86 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23; THENCE SOUTH 88°56'13" WEST, ALONG THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER (NE 1/4 OF NW 1/4) OF SAID SECTION 23, A DISTANCE OF 1095.69 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3836, PAGE 988 OF SAID PUBLIC RECORDS, AND THE **POINT OF BEGINNING**; THENCE CONTINUE SOUTH 88°56'13" WEST, ALONG SAID SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER (NE 1/4 OF NW 1/4), A DISTANCE OF 430.94 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER (NE 1/4 OF NW 1/4); THENCE NORTH 01°26'08" WEST, ALONG THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER (NE 1/4 OF NW 1/4), A DISTANCE OF 1154.45 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4020, PAGE 570 OF SAID PUBLIC RECORDS; THENCE NORTH 88°35'17" EAST, ALONG THE SOUTH LINE OF SAID LANDS, A DISTANCE OF 397.42 FEET TO THE SOUTHEAST CORNER OF SAID LANDS, ALSO BEING THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2340, PAGE 1962 OF SAID PUBLIC RECORDS; THENCE SOUTH 80°26'24" EAST, ALONG THE SOUTH LINE OF SAID LANDS, A DISTANCE OF 690.69 FEET TO THE SOUTHEAST CORNER OF SAID LANDS, ALSO BEING THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2330, PAGE 1452 OF SAID PUBLIC RECORDS; THENCE SOUTH 80°36'43" EAST, ALONG THE SOUTH LINE OF SAID LANDS AND ITS EASTERLY PROJECTION, A DISTANCE OF 487.09

FEET TO A POINT ON THE NORTHERLY LINE OF A 60 FOOT WIDE INGRESS, EGRESS, AND PUBLIC UTILITIES EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 3416, PAGE 742 OF SAID PUBLIC RECORDS, SAID POINT LYING ON A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 333.89 FEET, AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 43°08'20" WEST, 100.75 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND SAID NORTHERLY LINE, THROUGH A CENTRAL ANGLE OF 17°21'16", AN ARC DISTANCE OF 101.13 FEET TO THE END OF SAID CURVE; THENCE SOUTH 51°48'20" WEST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 110.97 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 360.00 FEET, AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 39°23'25" WEST, 155.51 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND SAID NORTHERLY LINE, THROUGH A CENTRAL ANGLE OF 24°56'47", AN ARC DISTANCE OF 156.75 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 270.00 FEET, AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 57°55'22" WEST, 278.32 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND SAID NORTHERLY LINE, THROUGH A CENTRAL ANGLE OF 62°02'55", AN ARC DISTANCE OF 292.40 FEET TO THE END OF SAID CURVE; THENCE SOUTH 88°56'17" WEST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 163.63 FEET TO AN INTERSECTION WITH THE NORTHERLY PROJECTION OF THE EASTERLY LINE OF AFOREMENTIONED LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3836, PAGE 988; THENCE SOUTH 01°04'43" EAST, ALONG SAID NORTHERLY PROJECTION, A DISTANCE OF 60.00 FEET TO THE NORTHEAST CORNER OF SAID LANDS, LYING ON THE SOUTHERLY LINE OF SAID 60 FOOT WIDE INGRESS, EGRESS, AND PUBLIC UTILITIES EASEMENT; THENCE THE FOLLOWING THREE (3) COURSES ALONG SAID SOUTHERLY LINE AND NORTHERLY LINE; (1) THENCE SOUTH 88°54'01" WEST, A DISTANCE OF 367.18 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 52.00 FEET, AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 64°27'17" WEST, 43.17 FEET; (2) THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 49°03'23", AN ARC DISTANCE OF 44.52 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 73.00 FEET, AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 61°54'10" WEST, 54.61 FEET; (3) THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 43°55'38", AN ARC DISTANCE OF 55.97 FEET TO THE NORTHWEST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3836, PAGE 988; THENCE SOUTH 01°04'08" EAST, ALONG THE WEST LINE OF SAID LANDS, A DISTANCE OF 437.28 FEET TO THE **POINT OF BEGINNING.**

THE ABOVE DESCRIBED LANDS CONTAIN 23.24 ACRES, MORE OR LESS.



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LEGAL DESCRIPTION

July 3, 2013

PROJECT NO: 13-0178

DESCRIPTION FOR: LOT 14, COPELAND PARK TAX PARCEL I.D. 03927-011-000

DESCRIPTION:

A TRACT OF LAND SITUATED IN SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23, FOR THE POINT OF REFERENCE; THENCE SOUTH 88°59'32" WEST, ALONG THE SOUTH LINE OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23, A DISTANCE OF 40.00 FEET TO THE SOUTHEAST CORNER OF LANDS DESCRIBED IN EXHIBIT "B" OF OFFICIAL RECORDS BOOK 2336, PAGE 2030 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 89°09'48" WEST, ALONG THE SOUTH LINE OF SAID LANDS AND ALONG THE SOUTH LINE OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23, A DISTANCE OF 824.69 FEET TO THE SOUTHWEST CORNER OF LAND AS DESCRIBED IN EXHIBIT "A" OF SAID OFFICIAL RECORDS BOOK 2336, PAGE 2030; THENCE CONTINUE SOUTH 89°08'48" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 455.86 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23; THENCE SOUTH 88°56'13" WEST, ALONG THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER (NE 1/4 OF NW 1/4) OF SAID SECTION 23, A DISTANCE OF 640.56 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 88°56'13" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 455.13 FEET; THENCE DEPARTING SAID SOUTH LINE, NORTH 01°03'47" WEST, A DISTANCE OF 437.29 FEET TO A POINT ON THE SOUTHERLY LINE OF A 60 FOOT WIDE INGRESS/EGRESS & PUBLIC UTILITIES EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 3416, PAGE 742 OF THE PUBLIC RECORDS OF SAID COUNTY, SAID A POINT BEING ON A NON-TANGENT CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 73.00 FEET, AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 61°52'50" EAST, 54.57 FEET; THENCE THE FOLLOWING THREE (3) COURSES ALONG SAID SOUTH LINE; (1) NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 43°53'46", AND ARC DISTANCE OF 55.93 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 52.00 FEET, AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 64°26'05" EAST, 43.14 FEET; (2) THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 49°00'16", AN ARC DISTANCE OF 44.48 FEET

TO THE POINT OF TANGENCY; (3) THENCE NORTH $88^{\circ}56'13''$ EAST, A DISTANCE OF 367.29 FEET; THENCE DEPARTING SAID SOUTH LINE, SOUTH $01^{\circ}03'47''$ EAST, A DISTANCE OF 480.00 FEET TO THE POINT OF BEGINNING. CONTAINING 4.97 ACRES, MORE OR LESS.

TOGETHER WITH

A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES SITUATED IN SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF THE AFOREMENTIONED SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, FOR THE POINT OF REFERENCE AND RUN S $88^{\circ} 59' 32''$ W, ALONG THE SOUTH LINE OF SAID NORTHWEST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 23, A DISTANCE OF 40.00 FEET TO THE INTERSECTION OF SAID SOUTH LINE WITH THE WEST RIGHT OF WAY LINE OF N.W. 126TH TERRACE (80 FOOT RIGHT OF WAY); THENCE RUN N $01^{\circ} 34' 39''$ W, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 710.84 FEET; THENCE RUN N $01^{\circ} 34' 50''$ W., ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 41.44 FEET TO AN INTERSECTION WITH A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 32.00 FEET AND THE POINT OF BEGINNING; THENCE RUN NORTHWESTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF $43^{\circ} 51' 09''$ AND AN ARC DISTANCE OF 24.49 FEET (CHORD BEARING AND DISTANCE OF N $69^{\circ} 39' 16''$ W, 23.90 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S $88^{\circ} 25' 10''$ W, A DISTANCE OF 238.14 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF $34^{\circ} 32' 14''$ AN ARC DISTANCE OF 198.92 FEET (CHORD BEARING AND DISTANCE OF N $74^{\circ} 18' 43''$ W, 195.92 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N $57^{\circ} 02' 36''$ W, A DISTANCE OF 413.15 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF $95^{\circ} 26' 40''$ AN ARC DISTANCE OF 449.77 FEET (CHORD BEARING AND DISTANCE OF S $75^{\circ} 14' 04''$ W, 399.54 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 393.89 FEET; THENCE RUN SOUTHWESTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF $24^{\circ} 18' 35''$ AN ARC DISTANCE OF 167.12 FEET (CHORD BEARING AND DISTANCE OF S $39^{\circ} 40' 02''$ W, 165.87 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S $51^{\circ} 49' 20''$ W, A DISTANCE OF 110.99 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 300.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF $24^{\circ} 56' 20''$ AN ARC DISTANCE OF 130.58 FEET (CHORD BEARING AND DISTANCE OF S $39^{\circ} 21' 10''$ W, 129.55 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE RUN SOUTHWESTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF $62^{\circ} 03' 13''$ AN ARC DISTANCE OF 357.40 FEET (CHORD BEARING AND DISTANCE OF S $57^{\circ} 54' 37''$ W, 340.19 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S $88^{\circ} 56' 13''$ W, A DISTANCE OF 530.79 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 52.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF $49^{\circ} 00' 16''$ AN ARC DISTANCE OF

44.48 FEET (CHORD BEARING AND DISTANCE OF S 64° 26' 05" W, 43.13 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHERLY, EASTERLY AND SOUTHERLY, SAID CURVE HAVING A RADIUS OF 73.00 FEET; THENCE RUN SOUTHWESTERLY, WESTERLY, NORTHWESTERLY, NORTHERLY, NORTHEASTERLY, EASTERLY AND SOUTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 278° 00' 32" AN ARC DISTANCE OF 354.21 FEET (CHORD BEARING AND DISTANCE OF N 01° 03' 47" W, 95.78 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 52.00 FEET; THENCE RUN SOUTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 49° 00' 16" AN ARC DISTANCE OF 44.48 FEET (CHORD BEARING AND DISTANCE OF S 66° 33' 39" E, 43.13 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 88° 56' 13" E, A DISTANCE OF 530.79 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE RUN NORTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 62° 03' 13" AN ARC DISTANCE OF 292.42 FEET (CHORD BEARING AND DISTANCE OF N 57° 54' 37" E, 278.34 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 360.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 24° 56' 20" AN ARC DISTANCE OF 156.70 FEET (CHORD BEARING AND DISTANCE OF N 39° 21' 10" E, 155.46 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 51° 49' 20" E, A DISTANCE OF 110.99 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 333.89 FEET; THENCE RUN NORTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 24° 18' 35" AN ARC DISTANCE OF 141.66 FEET (CHORD BEARING AND DISTANCE OF N 39° 40' 02" E, 140.60 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 95° 26' 40" AN ARC DISTANCE OF 549.72 FEET (CHORD BEARING AND DISTANCE OF N 75° 14' 04" E, 488.33 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S 57° 02' 36" E, A DISTANCE OF 413.15 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE RUN SOUTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 34° 32' 14" AN ARC DISTANCE OF 162.75 FEET (CHORD BEARING AND DISTANCE OF S 74° 18' 43" E, 160.30 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 88° 25' 10" E, A DISTANCE OF 208.14 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 62.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 57° 18' 35" AN ARC DISTANCE OF 62.02 FEET (CHORD BEARING AND DISTANCE OF N 59° 45' 52" E, 59.46 FEET RESPECTIVELY) TO THE AFOREMENTIONED WEST RIGHT OF WAY LINE OF N.W. 126TH TERRACE; THENCE RUN S 01° 34' 50" E, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 97.44 FEET TO THE POINT OF BEGINNING;

CONTAINING 4.550 ACRES MORE OR LESS.



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MEMORANDUM

TO: City of Alachua – Office of Planning and Zoning
FROM: Daniel H. Young, P.E.
DATE: June 26, 2013
RE: Nano ADM Facility – Stormwater Management

The following is in reference to the proposed Nano ADM Facility project. This project consists of the construction of an $\pm 128,673$ sf. building along with associated driveways, parking lots, sidewalks, utilities, and stormwater conveyance systems on a ± 28.07 site. The project site is located in the Copeland Park complex at 14100 NW 126th Terrace in Alachua, Florida.

The proposed project site is part of the existing Copeland Park site, which has been previously permitted with the Suwannee River Water Management District (SRWMD) under Permit No. ERP99-0337. Based on the existing permit, the project will impact one of the previously permitted watersheds on the site, DA-1, which discharges into the stormwater management facility SMF-1, located on the southeast portion of the site. Watershed DA-1 has been permitted with a total drainage area of ± 70.42 acres, of which ± 31.76 acres is allowed to be impervious.

Watershed DA-1 currently has ± 6.25 acres of existing impervious area within it. The proposed addition will add ± 7.06 acres of net impervious area, which will bring the total impervious area in the watershed to ± 13.31 acres. This is less than the ± 31.76 acres of impervious area permitted; therefore this project is compliant with the existing SRWMD permit and design.

For any additional information or questions, please contact Daniel Young at daniely@chw-inc.com or at (352) 331-1976.

Sincerely,

Daniel H. Young, P.E.
FL PE No. 70780
Project Manager





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COMPREHENSIVE PLAN CONSISTENCY ANALYSIS

TO: Kathy Winburn, Planning & Community Development Director PN 13-0178
FROM: Craig Brashier, AICP, Planning Project Manager
DATE: June 27, 2013
RE: Nanotherapeutics Site Plan Application

This Nanotherapeutics Advanced Development & Manufacturing Facility (ADMF) site plan application is for a ±165,000 sq. ft. non-residential facility. The facility will include vaccine production, laboratories, offices, and supporting uses consistent with the Industrial (IND) Future Land Use classification and the Light and Warehouse Industrial (ILW) zoning district. This Comprehensive Plan Concurrency Analysis is submitted in accordance with the City of Alachua Site Plan requirements identified in Land Development Regulations Sec. 2.4.9.

This analysis will describe how the proposed site plan application is consistent with and complies with specific Comprehensive Plan Goals, Objectives, and Policies. The Comprehensive Plan language is provided in plain text and the consistency statement is provided in **bold** text.

Vision 2010

Goal One: Economic Development

The City of Alachua has a unique business climate. The City is home to corporations, technology incubators, local businesses, and start-up companies. The US 441 corridor is beginning to develop into a “corporate corridor” with businesses, such as Sabine and JA Webster, and corporate campuses such as the Progress Corporate Park and Alachua Professional Center. Alachua desires to continue to be a home to innovative businesses that want to be partners with the community.

The Nanotherapeutics ADMF site plan is a perfect example of economic growth consistent with the City of Alachua’s unique business climate. Nanotherapeutics has been based in Alachua for 14 years. This site plan represents an expansion of a hometown biotechnological company currently located in Progress Corporate Park. The new ADMF will create approximately 150 new jobs with an average annual salary of \$90,000.

Goal Four: Preservation of the Natural Environment

The rural character of the City of Alachua is one of its most important assets. Many people live in Alachua because of its rolling hills and small-town charm. In an effort to preserve the rural character of Alachua, the community adopted goals and strategies to preserve open space and farmlands.

The proposed project site is located on property designated as Industrial on the Future Land Use Map (FLUM) and Light and Warehouse Industrial (ILW) on the Zoning Atlas. Utilizing the appropriate designated land within the City relieves development pressure on lands at the City’s fringes and even beyond. Developing land already designated for this type of use helps preserve the natural features elsewhere in the city that preserve the rural character of Alachua.

Future Land Use Element

Objective 1.4: Industrial

The City of Alachua shall establish one industrial district: Industrial. This district shall provide a broad range of clean industry, warehousing, research, and technology industries, to provide a variety of job opportunities to the citizens of Alachua and the North Central Florida Region.

The proposed Nanotherapeutics ADMF is consistent with the research and technology industries intended to locate within this FLU category. To further verify this consistency, the City of Alachua provided Causseaux, Hewett, & Walpole, Inc. with a Zoning Verification letter dated January 12, 2012, that concludes the proposed use is consistent with FLUE Objective 1.4 and meets the definition of “Light Manufacturing” which is a permitted use in the ILW zoning district. A copy of the letter is included as Attachment A to this analysis.

Policy 1.4.a: Industrial: Industrial areas of the future land use map, and industrial uses, are generally intense uses that require large land area and convenient access to transportation facilities, such as roads, highways, and rail lines. Industrial uses, such as warehousing and manufacturing, shall be located and designed in such a manner as to prevent unwanted impacts to adjacent properties.

2. The Industrial land use category may include manufacturing facilities subject to the following standards:

Type of Manufacturing	Size of Building (Maximum)	Manufacturing	Warehousing	Building Area Coverage
Manufacturing / Assembly	300,000 sq. ft.	75% of total area maximum		40% maximum

As stated previously, the City of Alachua provided Causseaux, Hewett, & Walpole, Inc. with a Zoning Verification letter dated January 12, 2012, that states the proposed use, building size, building area coverage, and percentage of the building dedicated to manufacturing and warehousing are consistent with Policies 1.4.a. and 1.4.a.2.

Policy 1.4.d: The Industrial land use category may also include industrial service uses, office/business parks, biotechnology and other technologies, business incubators, self-storage facilities, a limited amount of retail sales and services, traditional neighborhood design planned developments, employment center planned developments, outdoor storage yard or lots, and construction industry uses either as allowed uses or with special exceptions.

While consistent with the manufacturing standards provided in FLUE Policy 1.4.2.b, Nanotherapeutics is also a biotechnology company that is consistent with the intended uses within the Industrial FLU category.

Policy 1.4.f: The City shall develop performance standards for industrial uses in order to address the following:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;

The existing access road will continue to provide vehicular and non-vehicular access into the proposed Nanotherapeutics site, as well as other sites within the industrial park. The City of Alachua has secured funding to improve this access road by adding curb, gutter, and a sidewalk. The sidewalk will greatly enhance non-vehicular access to the project site. It should be noted that the proposed facility will be secured and all access points will be gated. Sidewalks will also be provided throughout the site to link the building, parking areas, and open space.

2. Buffering from adjacent existing/potential uses;

A minimum 20' wide Type D landscape buffer will be provided along the western boundary of the site. A minimum 10' wide Type C buffer will be provided along the southern boundary adjacent to the property currently owned by the City of Alachua and used for wastewater management facilities. A minimum 5' wide Type A / parking lot buffer will be provided along the northern and eastern boundaries. All required buffers are shown on the landscape plan.

3. Open space provisions and balance of proportion between gross floor area and site size;

Approximately 70% of the site will be pervious area / open space. This far exceeds the 10% open space requirement in FLUE Policy 2.5.1 of the City's Comprehensive Plan. The proposed ±165,000 sq. ft. facility is located on a ±28 acre site, which is equal to an F.A.R. of 0.14. This is well below the 0.50 F.A.R. allowed for industrial sites 10 acres or greater.

4. Adequacy of pervious surface area in terms of drainage requirements;

As previously stated, approximately 70% of the site is pervious area / open space. However, stormwater management facilities will not be provided on the ±28 acre site. The Nanotherapeutics site's drainage will be conveyed to the stormwater management facility located to the east of the site which was designed and permitted for the entire industrial park.

5. Placement of signage;

Minimal signage will be placed along the entrance road at the access points to identify the facility. Signage will be consistent with LDR Sec. 6.5.

6. Adequacy of site lighting and intrusiveness of lighting upon the surrounding area;

Adjacent property to the north and east is also within the Industrial FLU category and ILW zoning district, therefore site lighting will not have a negative impact between the similar uses. The adjacent property to the south is owned by the City of Alachua and is

used for wastewater management facilities. Again, sight lighting will have little impact on this adjacent use.

7. Safety of on-site circulation patterns (patron, employee and delivery vehicles, trucks), including parking layout and drive aisles, and points of conflict;

As shown on the site plan, two (2) access points are provided. The northern access point and driveway will be for delivery trucks only. This will eliminate points of conflict between truck traffic and automobiles and/or pedestrians. A roundabout has been designed as part of the second access network to provide easy drop-off near the front of the building. This drop-off point will reduce conflicts between pedestrians and automobile traffic on-site. An internal sidewalk system has been designed to provide access to the building from the parking area. This sidewalk system will also greatly reduce points of conflict between automobile traffic and pedestrians.

8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations;

A landscape plan is included as part of the site plan set. As shown on the landscape plan, 70% of the site has been landscaped, which includes both perimeter and interior landscaping. A minimum 20' wide Type D landscape buffer will be provided along the western boundary of the site. A minimum 10' wide Type C buffer will be provided along the southern boundary adjacent to the property currently owned by the City of Alachua and used for wastewater management facilities. A minimum 5' wide Type A / parking lot buffer will be provided along the northern and eastern boundaries. All required buffers are shown on the landscape plan.

9. Unique features and resources which may constrain site development, such as soils, existing vegetation and historic significance; and

There are no delineated wetlands or FEMA floodplain on site that will constrain development. The site is generally clear of trees and vegetation with the exception of the western and southern boundaries. The existing vegetation will not interfere with the development areas and will likely be maintained as part of the required buffer. The site consists of five (5) different types soil types, all of which are Hydro Group A soils and will not propose any limitation on development. A soils map is provided as Attachment B to this analysis.

10. Performance based zoning requirements that may serve as a substitute for or accompany land development regulations in attaining acceptable site design.

No performance based zoning requirements will be proposed for this site in order to attain an acceptable design.

11. Industrial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres by 5 acres or greater, .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio for parcels 1 acre or less.

The proposed ±165,000 sq. ft. facility is located on a ±28 acre site, which is equal to an F.A.R. of 0.14. This is well below the 0.50 F.A.R. allowed for industrial sites 10 acres or greater.

Policy 2.4.1: Landscaping: General – The City shall require landscaping plans to be submitted with each nonresidential and multiple family residential site plan. The minimum landscaped area shall be 30% of the development site. Landscaping designs shall incorporate principles of xeriscaping, where feasible. The City shall develop a plant pallet to assist in the landscape design. Landscape plans shall include a mixture of perimeter and internal landscaping.

A landscape plan is included as part of the site plan set. As shown on the landscape plan, 70% of the site has been landscaped, which includes both perimeter and interior landscaping.

Policy 2.4.2: Landscaping: Buffering – A buffer consists of horizontal space (land) and vertical elements (plants, berms, fences, walls) that physically separate and visually screen adjacent land uses that may not be fully compatible. The City shall establish buffer yard requirements that are based on the nature of the adjacent uses and the desired result of the buffer.

A minimum 20' wide Type D landscape buffer will be provided along the western boundary of the site. A minimum 10' wide Type C buffer will be provided along the southern boundary adjacent to the property currently owned by the City of Alachua and used for wastewater management facilities. A minimum 5' wide Type A / parking lot buffer will be provided along the northern and eastern boundaries. All required buffers are shown on the landscape plan.

Policy 2.5.1: There shall be a minimum of 10% percent open space required. The City shall establish incentives for the provision of open space beyond minimum requirements.

As shown on the site plan, 70% of the ±28 acre site is pervious area / open space.

Objective 4.1 Infill development:

Infill development shall be encouraged in order to protect the unique character of existing neighborhoods and commercial developments, provide for a safe urban environment, increase densities in a manner compatible with existing uses, provide open spaces, and restore or maintain economic vitality and cultural diversity.

The proposed Nanotherapeutics ADMF will be infill development on vacant industrial land within the Copeland Industrial Park. Building the facility on vacant land intended for this exact type of use will prevent the conversion of non-industrial land elsewhere in the City or just beyond the City limits. This facility will help maintain economic vitality in the City of Alachua by creating approximately 150 new jobs with an average annual salary of \$90,000 and increasing the City's tax base.

GOAL 5: Development Standards: The City shall include provisions through its comprehensive plan amendment process, development review process and in its land development regulations for development standards that address natural features and availability of facilities and services. These development standards will strive to protect natural resources and public facility resources while allowing for innovative and flexible development patterns.

Policy 5.1.a: Topography: The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new development to include techniques

to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

The project site is generally flat with no trees or vegetation. The highest portion of the site runs from the southwest to the northeast at an elevation of about 80 feet. The site gently decreases in elevation to the northwest and southeast portions of the site. Total elevation change is about 8 feet across the ±28 acre site. Any mature trees on-site are located along the southern or western boundaries and will not be impacted by development.

Policy 5.1.c: Flood prone areas: The City shall require as part of the development review process the identification of FEMA flood zone areas. Where necessary, minimum flood elevations shall be surveyed and established. The City shall also require finished floor elevations on subdivision plats, site plans and building permit plans. The City shall establish standards for a limitation on filling in flood prone areas.

The proposed project site does not include any FEMA 100 year floodplain.

Policy 5.1.d: Wetlands: The City shall utilize statewide wetland delineation methodology in accordance with Florida Administrative Code (FAC) and regulations adopted by the FDEP and the Suwannee River Water Management District.

The proposed project site does not include any delineated wetlands.

Objective 5.2: Availability of facilities and services:

All new development shall be planned and constructed concurrently with the availability of facilities and services necessary for the development.

Policy 5.2.1: All new development shall meet level of service requirements for roadways, potable water and sanitary sewer, stormwater, solid waste, and improved recreation in accordance with LOS standards adopted in the elements addressing these facilities.

A Concurrency Impact Analysis is included as part of this site plan application package which demonstrates that the proposed Nanotherapeutics ADMF meets the adopted LOS for roadways, potable water, sanitary sewer, and solid waste. A Grading and Drainage Plan is included as part of the development plan set. The Nanotherapeutics site will convey stormwater to a master planned, off-site stormwater management facility (SMF). This SMF was permitted to handle stormwater for the entire industrial park and is consistent with the City's adopted LOS and SRWMD requirements. The non-residential development will not impact the City's recreational facilities.

GOAL 9: Water and Wastewater Service:

The City will ensure that new development within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

Policy 9.1: Any new development within Commercial and Industrial Land Uses within the corporate limits, where potable water and wastewater service are available, as

defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

The proposed Nanotherapeutics ADMF will connect to the City of Alachua's centralized potable water and sanitary sewer systems. The City of Alachua Public Services Department issued an "Ability to Serve" letter dated July 15, 2013, stating they could adequately provide utility services to meet the facility's demand. A copy of this letter is included as Attachment C to this analysis.

Transportation Element

Objective 1.1: Level of Service

The City shall establish a safe, convenient and efficient level of service standard for all motorized and non-motorized transportation systems.

As calculated in the Concurrency Impact Analysis, the proposed Nanotherapeutics ADMF will only generate approximately 332 new annual average daily trips (AADT) and will not cause the impacted segment of CR 2054 to operate below the adopted LOS D.

Policy 1.3.a: The City shall establish minimum and maximum parking standards in order to avoid excessive parking areas.

The proposed site plan includes 165 parking spaces for the 165,000 sq. ft. facility. This is consistent with the City's LDR requirement of 1 space per 1,000 sq. ft. for light manufacturing uses.

Policy 1.3.g: The City shall require spaces to accommodate persons with physical disabilities as required by the Americans with Disabilities Act.

A minimum of six (6) handicapped parking spaces will be provided on the site plan.

Community Facilities and Natural Groundwater Aquifer Recharge Element

Policy 1.1.d: The City hereby establishes the following level of service standards for sanitary sewer facilities:

Levels of Service

a. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).

b. Quantity: System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with F.A.C. 62-600.405, or subsequent provision. This level of service standard shall be re-evaluated one year from the adoption date for the amended Plan.

c. System capacity: If the volume of existing use in addition to the volume of the committed use of the City's wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without reserved capacity will be issued until additional capacity becomes available or funds to

increase facility capacity are committed in accordance with a development agreement.

Quality: The proposed Nanotherapeutics ADMF will comply with all applicable sanitary sewer quality standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.

Quantity: As calculated in the Concurrency Impact Analysis, the City’s sanitary sewer system has the permitted capacity to meet the demands for the proposed facility. The impacts from the proposed site plan will not cause the City’s potable water system to operate at a level below the adopted LOS in the comprehensive plan.

System Capacity: As calculated in the Concurrency Impact Analysis, the percentage of the City’s potable water system that is being utilized will not exceed 85%. With the calculated impacts from the proposed site plan, the design capacity that will be utilized is only 55.4%.

Objective 1.2:

Wastewater service will be made available to new development in a manner to promote compact urban growth, promoting development where wastewater service is available, and discouraging urban sprawl. For purposes of this objective, new development does not include remodeling of existing developments or additions of less than 33% to existing developments.

The proposed Nanotherapeutics ADMF will connect to the City of Alachua’s centralized sanitary sewer system. The City of Alachua Public Services Department issued an “Ability to Serve” letter stating they could adequately provide utility services to meet the facility’s demand.

Policy 2.1.a: The City hereby establishes the following level of service standards for solid waste disposal facilities:

FACILITY TYPE	LEVEL OF SERVICE STANDARD
Solid Waste Landfill	.73 tons per capita per year

As shown in the Concurrency Impact Analysis, the New River Solid Waste Facility has a 50-year capacity. The estimated impacts from the proposed site plan application will not cause the City’s solid waste system to operate at a level below the adopted LOS in the comprehensive plan.

Policy 3.1.a: The City hereby establishes the following water quantity and quality level of service standards for drainage facilities:

LEVEL OF SERVICE STANDARD

For all projects which fall totally within a stream, or open lake watershed, detention systems must be installed such that the peak rate of post-development runoff will not exceed the peak-rate of pre-development runoff for storm events up through and including either:

1. A design storm with a 10-year, 24-hour rainfall depth with Soil Conservation Service type II distribution falling on average antecedent moisture conditions for

projects serving exclusively agricultural, forest, conservation, or recreational uses; or

2. A design storm with 100-year critical duration rainfall depth for projects serving any land use other than agricultural, silvicultural, conservation, or recreational uses.

3. The LOS standard for water quality treatment shall be treatment for the “first one inch” of runoff, and compliance with the design and performance standards established in Chapter 40C-42.025, FAC, and 42.035, FAC to ensure that the receiving water quality standards of Chapter 62.302.500, FAC are met and to ensure their water quality is not degraded below the minimum conditions necessary to maintain their classifications as established in Chapter 62-302, FAC. These standards shall apply to all new development and redevelopment and any exemptions, exceptions or thresholds in these citations are not applicable. Infill residential development within improved residential areas or subdivisions existing prior to the adoption of this comprehensive plan, must ensure that its post-development stormwater runoff will not contribute pollutants which will cause the runoff from the entire improved area or subdivision to degrade receiving water bodies and their water quality as stated above.

A Grading and Drainage Plan is included as part of the development plan set. The Nanotherapeutics site will convey stormwater to a master planned, off-site stormwater management facility (SMF). This SMF was permitted to handle stormwater for the entire industrial park and is consistent with LOS standards provided in the City’s Comprehensive Plan Community Facilities and Natural Groundwater Aquifer Recharge Element Policy 3.1.a as well as the Suwannee River Water Management District standards and requirements.

Policy 3.1.f: The City shall permit the use of off-site retention facilities, if they are part of previously approved master stormwater retention or detention facility.

Stormwater management facilities will not be provided on the ±28 acre Nanotherapeutics site. Instead, the site’s drainage will be conveyed to the master stormwater management facility located approximately 300 feet to the east designed and permitted to handle the drainage for the entire industrial park.

Objective 4.1:

Achieve and maintain acceptable levels of service for potable water quantity and quality.

Policy 4.2.a: New urban development will only occur within areas where potable water services are available concurrent with development. For purposes of this policy, new development does not included remodeling of existing developments or additions of less than 33% to existing developments.

The proposed Nanotherapeutics ADMF will connect to the City of Alachua’s centralized potable water system. The City of Alachua Public Services Department issued an “Ability to Serve” letter stating they could adequately provide utility services to meet the facility’s demand.

Conservation and Open Space Element

OBJECTIVE 1.10: Wetlands

The City shall protect and preserve wetland values and functions from adverse, human caused, physical and hydrologic disturbances.

There are no identified wetlands on the proposed project site.

Economic Element

GOAL 1: To emphasize economic principles consistent with the City's Vision that support the prosperity of the community and enhance its quality of life.

The Nanotherapeutics ADMF site plan is a perfect example of economic growth consistent with the City of Alachua's unique business climate. Nanotherapeutics has been based in Alachua for 14 years. This site plan represents an expansion of a hometown biotechnological company currently located in Corporate Progress Park. The new ADMF will create approximately 150 new jobs with an average annual salary of \$90,000.

Attachments: A – Zoning Verification Letter
 B – Soils Map
 C – City of Alachua Ability to Serve Letter

G:\JOBS\2013\13-0178\Reports\Resubmittal_130805\COMP PLAN ANALYSIS_130805_Site Plan App.docx

ATTACHMENT A
ZONING VERIFICATION LETTER

RECEIVED
JAN 13 2012



City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

January 12, 2012

Rory Causseaux, P.E.
Causseaux, Hewett, & Walpole, Inc.
6011 NW 1st Place
Gainesville, FL 32607

RE: Zoning Verification Request – Proposed Use in Light & Warehouse Industrial (ILW)
Zoning District

Dear Mr. Causseaux,

On January 11, 2012, the City of Alachua received your request for a determination regarding a proposed use in Copeland Industrial Park. Your memorandum of January 11, 2012 indicates that the proposed use would consist of a vaccine production facility and that operations at this facility would include production, warehousing, and a minimal amount of accessory office space located within one structure.

The referenced property currently has a Future Land Use Map (FLUM) Designation of Industrial and a zoning designation of Light & Warehouse Industrial (ILW.)

The Industrial FLUM Designation is described in Objective 1.4 of the Future Land Use Element as follows: "The City of Alachua shall establish one industrial district: Industrial. This district shall provide a broad range of clean industry, warehousing, research, and technology industries, to provide a variety of job opportunities to the citizens of Alachua and the North Central Florida Region."

The Industrial FLUM Designation is further defined in Objective 1.4.a as follows: "Industrial: Industrial areas of the future land use map, and industrial uses, are generally intense uses that require large land area and convenient access to transportation facilities, such as roads, highways, and rail lines. Industrial uses, such as warehousing and manufacturing, shall be located and designed in such a manner as to prevent unwanted impacts to adjacent properties."

Policy 1.4.a.2 of the Future Land Use Element indicates that the Industrial land use category may include manufacturing facilities subject to the following standards:

Type of manufacturing	Size of building	Manufacturing	Warehousing	Building Area Coverage
Manufacturing/Assembly	300,000 sq.ft. maximum	75% of total area maximum		40% maximum

The materials provided as an attachment to your memorandum of January 11, 2012 indicate that the building size, building area coverage, and percentage of the building dedicated to manufacturing and warehousing would be consistent with Policy 1.4.a.2.

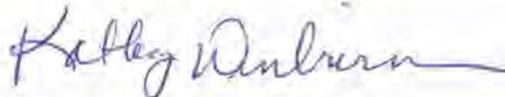
Table 4.1-1 of the City's Land Development Regulations ("LDRs") sets forth the uses allowed within each zoning district. Table 4.1-1 identifies a use type of "Light Manufacturing," which is defined in Article 10 of the LDRs as, "[t]he mechanical transformation of predominantly previously prepared materials into new products, including assembly of component parts and the creation of products for sale to the wholesale or retail markets or directly to consumers. Such uses are wholly confined within an enclosed building, do not include processing of hazardous gases and chemicals, and do not emit noxious noise, smoke, vapors, fumes, dust, glare, odor, or vibration. Examples include, but are not limited to: production or repair of small machines or electronic parts and equipment; woodworking and cabinet building; publishing and lithography; computer design and development; research, development, testing facilities and laboratories; apparel production; sign making; assembly of pre-fabricated parts, manufacture of electric, electronic, or optical instruments or devices; manufacture and assembly of artificial limbs, dentures, hearing aids, and surgical instruments; manufacture, processing, and packing of food products, cosmetics, and manufacturing of components, jewelry, clothing, trimming decorations, and any similar item."

As indicated in the definition above, the "Light Manufacturing" use type permits the manufacturing and assembly of materials that are comparable in nature to those described in your memorandum of January 11, 2012. This use type also permits research/development and laboratory facilities.

Based upon your memorandum of January 11, 2012, and the provisions of the City's Comprehensive Plan and Land Development Regulations, the proposed use meets the definition of a "Light Manufacturing," which is a permitted use in the ILW zoning district.

If you have any questions, please feel free to contact me at 386-418-6100 x 105.

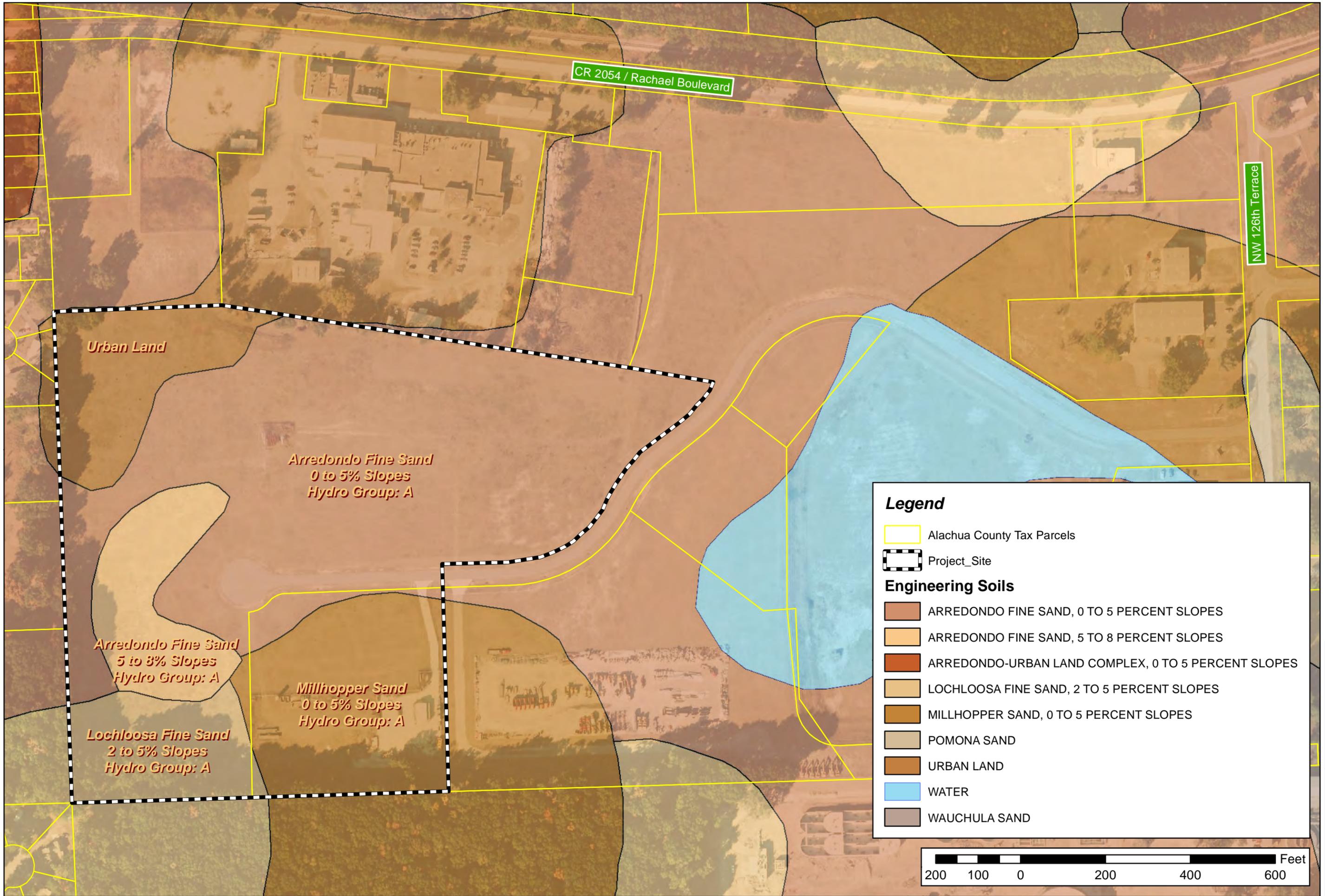
Sincerely,



Kathy Winburn, AICP
Planning Director

c: Traci Cain, City Manager
File

ATTACHMENT B
SOILS MAP



Prepared by: Employee 350
 Projection: NAD_1983_StatePlane
 Florida_North_FIPS_0503_Feet
 Projection: Lambert_Conformal_Conic
 False Northing: 0.000000
 Central Meridian: -84.500000
 Standard Parallel 1: 29.583333
 Standard Parallel 2: 29.000000
 Latitude of Origin: 29.000000
 GCS: North_American_1983
 Date: April 23, 2013

Causseaux, Hewett, & Walpole, Inc.
 Engineering • Surveying • Planning • CEI
 132 NW 76th Drive, Gainesville, FL 32607
 Phone: (352) 331-1976 Fax: (352) 331-2476
<http://www.chw-inc.com>



ATTACHMENT C
CITY OF ALACHUA
ABILITY TO SERVE LETTER



City of Alachua

Traci L. Cain
City Manager

Mike New, PE
Public Services Director

July 15, 2013

Mr. Craig Brashier, AICP
Planning Project Manager
Causseaux, Hewett, and Walpole, Inc.
132 NW 76 Drive
Gainesville, Florida 32607

Reference: Nanotherapeutics, Inc.

Subject: Ability to Provide Utility Service

Dear Mr. Brashier,

The City of Alachua is in receipt of your correspondence dated July 10, 2013 regarding the referenced project. Staff reviewed the estimated project utility loads you provided and each of our utility systems (potable water, sanitary sewer, and electric) that will serve the proposed development. We determined that each utility system has adequate capacity to serve the project's estimated utility loads.

Please advise if you have questions, comments, or require additional information. Thank you.

Sincerely,

Mike New, PE
Public Services Director

c: Traci L. Cain, City Manager
Adam Boukari, Assistant City Manager
Kathy Windburn, Planning and Community Development Director
Project file



*Focused on Excellence
Delivered with Integrity*

July 10, 2013

Mike New, Public Services Director
City of Alachua
15100 NW 142nd Terrace
Alachua, FL 32615

RE: Nanotherapeutics, Inc. – Ability to Serve Letter

Dear Mr. New:

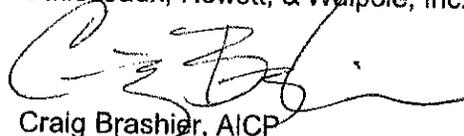
On behalf of Nanotherapeutics, Inc., Causseaux, Hewett, & Walpole, Inc. (CHW) requests a letter from the City of Alachua Public Services Department confirming the existence of infrastructure and available capacity to provide the proposed Nanotherapeutics Advanced Development & Manufacturing Facility (ADMF) with potable water, sanitary sewer, and electric service. The proposed facility will be approximately 153,000 square feet in size and located on ±28 acres consisting of a portion of Alachua County Tax Parcel #03927-000-000 and the entirety of #03927-011-000. A location map is included to provide additional information on the project site location.

The Nanotherapeutics ADMF will generate the following demands for City of Alachua public services:

Potable Water	239 gallons per minute (gpm) domestic water demand (±70,000 gpd) 2,000 gpm building sprinkler demand
Sanitary Sewer	44,500 gallons per day (gpd)
Electric	3,000 kw/hr

We greatly appreciate your cooperation in confirming the City's ability to meet the project's potable water, sanitary sewer, and electric demands. We look forward to receiving your confirmation letter and look forward to working with you to make this project a reality. Please let me know if you need any additional information to assist us with this task.

Sincerely,
Causseaux, Hewett, & Walpole, Inc.


Craig Brasher, AICP
Planning Project Manager

132 NW 76th Drive
Gainesville, Florida 32607

Phone: (352) 331-1976
Fax: (352) 331-2476
www.chw-inc.com

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ATTACHMENT A
ZONING VERIFICATION LETTER

RECEIVED
JAN 13 2012



City of Alachua

TRACI L. CAIN
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

January 12, 2012

Rory Causseaux, P.E.
Causseaux, Hewett, & Walpole, Inc.
6011 NW 1st Place
Gainesville, FL 32607

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Zoning District

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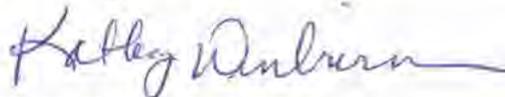
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As indicated in the definition above, the "Light Manufacturing" use type permits the manufacturing and assembly of materials that are comparable in nature to those described in your memorandum of January 11, 2012. This use type also permits research/development and laboratory facilities.

Based upon your memorandum of January 11, 2012, and the provisions of the City's Comprehensive Plan and Land Development Regulations, the proposed use meets the definition of a "Light Manufacturing," which is a permitted use in the ILW zoning district.

If you have any questions, please feel free to contact me at 386-418-6100 x 105.

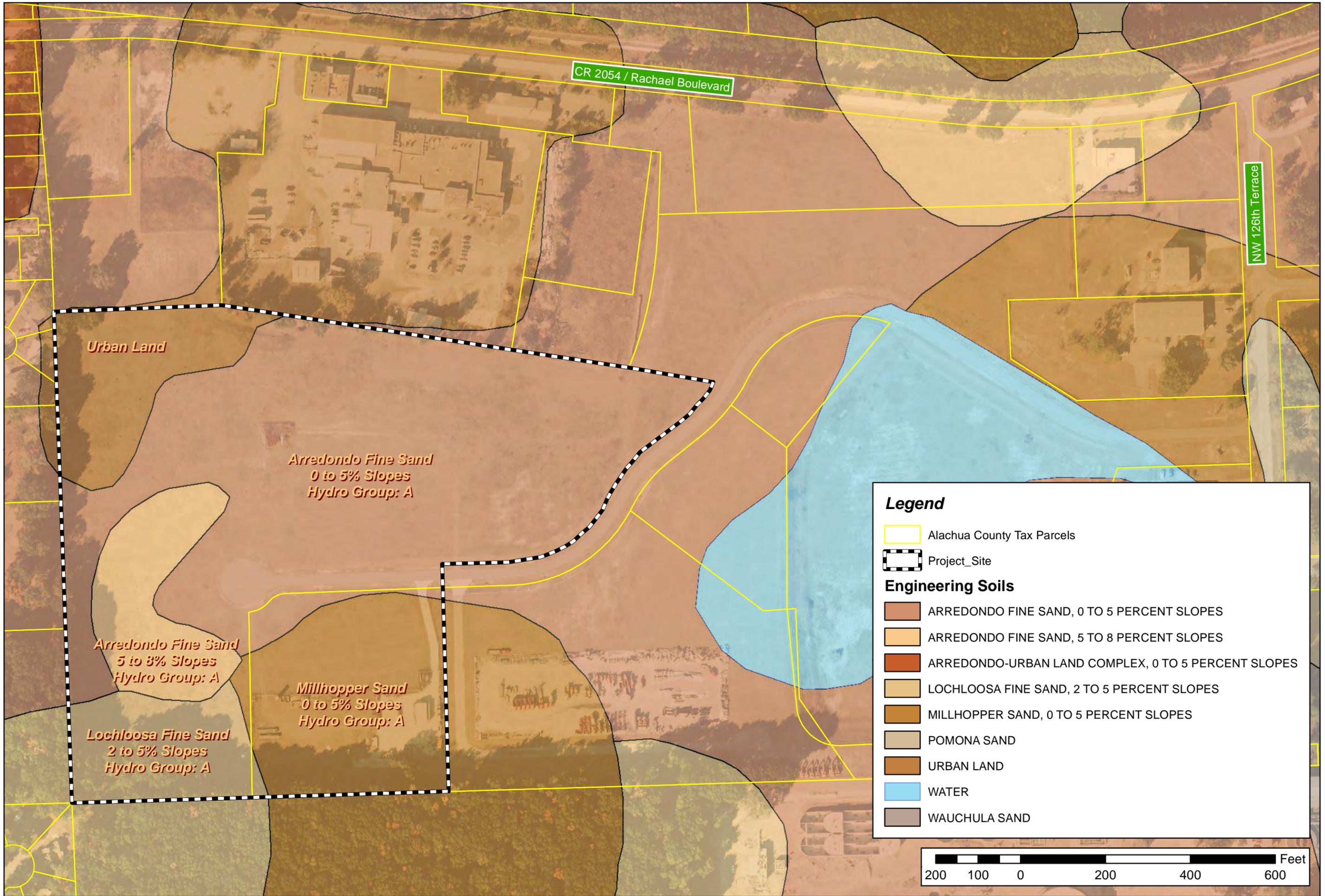
Sincerely,



Kathy Winburn, AICP
Planning Director

c: Traci Cain, City Manager
File

ATTACHMENT B
SOILS MAP



**Site Plan
Pre-application Meeting**



Prepared by: Employee 350
 Projection: NAD_1983_StatePlane
 Florida_North_FIPS_0503_Feet
 Projection: Lambert_Conformal_Conic
 Central_Meridian: -84.500000
 Standard_Parallel_1: 29.583333
 Standard_Parallel_2: 29.000000
 False_Easting: 0.000000
 False_Northing: 0.000000
 Units: Feet
 Datum: North_American_1983
 Date: April 23, 2013

Causseaux, Hewett, & Walpole, Inc.
 Engineering • Surveying • Planning • CEI
 132 NW 76th Drive, Gainesville, FL 32607
 Phone: (352) 331-1976 Fax: (352) 331-2476
<http://www.chw-inc.com>





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CONCURRENCY IMPACT ANALYSIS

TO: Kathy Winburn, Planning & Community Development Director PN 13-0178
FROM: Craig Brashier, AICP, Planning Project Manager
DATE: June 27, 2013
RE: Nanotherapeutics Site Plan Application

This site plan application is for a ±165,000 sq. ft. non-residential facility. The facility will include vaccine production, laboratories, offices, and supporting uses consistent with the Industrial (IND) Future Land Use classification and the Light and Warehouse Industrial (ILW) zoning district. This Concurrency Impact Analysis is submitted in accordance with the City of Alachua Land Development Regulations (LDR) Sec. 2.4.14. *Certificate of Concurrency Compliance*.

This analysis will calculate impacts to the City's roads, potable water facilities, sanitary sewer facilities, and solid waste facilities. A Grading and Drainage Plan is included as part of the development plan set. The Nanotherapeutics site will convey stormwater to a master planned, off-site stormwater management facility (SMF). This SMF was permitted to handle stormwater for the entire industrial park and is consistent with the City's adopted LOS and SRWMD requirements. The proposed non-residential use will not impact the City's parks and recreation facilities.

TRANSPORTATION IMPACT ANALYSIS

Table 1: Trip Generation Calculations

Land Use ¹ (ITE)	Employees	Daily		AM Peak		PM Peak	
		Rate	Trips	Rate	Trips	Rate	Trips
Research & Development Center (ITE 760)	120	2.77	332	0.43	52	0.41	49
Total	-	-	-	-	-	-	-

1. Source: *ITE Trip Generation 8th Edition*

Table 2: Comprehensive Plan Roadway Segments¹

Segment Number	Segment Description	Lanes	Functional Classification	Area Type	LOS
-	CR 2054 East (East of SR 235)	2/U	County-Maintained Collector	Urban	D

1. Impacted roadway segments identified on Figure 1. Projected Vehicle Trip Distribution

Table 3: Projected Impacts on Roadway Segments

Traffic System Category	CR 2054 East (East of SR 235)		
	AADT / PM Peak		
Maximum Service Volume ¹	13,680	/	1,332
Existing Traffic ¹	1,747	/	194
Reserved Trips ¹	0	/	0
Available Capacity	11,933	/	1,138
Projected Trip Generation ²	332	/	49
Residual Capacity with Application Approval	11,601	/	1,089

1. Source: City of Alachua June 2013 Development Monitoring Report.

2. The Projected Distribution percentage for this roadway segment is estimated to be 100%.

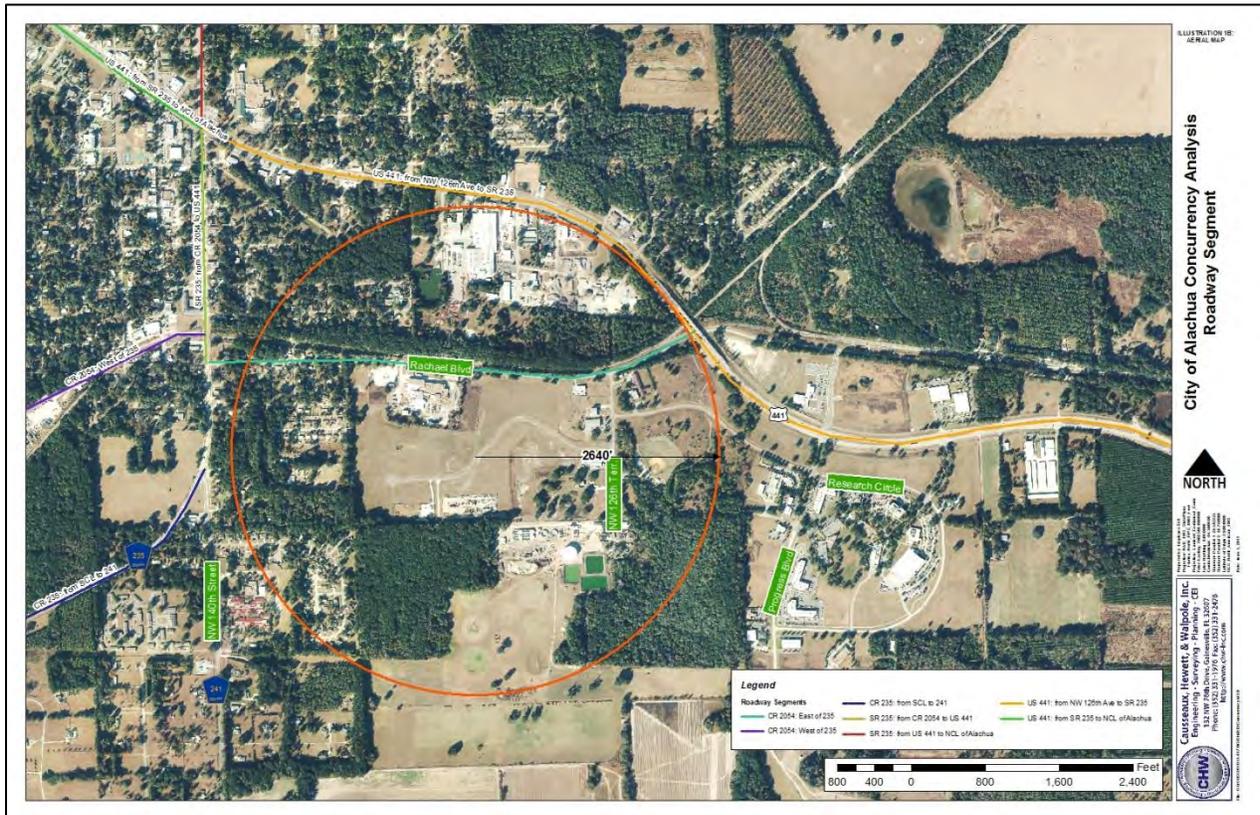


Figure 1: Projected Vehicle Trip Distribution

As shown in Table 1, the proposed Nanotherapeutics Advanced Development & Manufacturing Facility (ADMF) will generate approximately 332 new Average Annual Daily Trips (AADT). Consistent with LDR Sec. 2.4.14(H)(2), a ½-mile radius was used to determine the roadway segments included in this analysis. As shown on Figure 1, there is only one (1) affected comprehensive plan roadway segment, CR 2054 (East of SR 235).

While it is likely that some employees commuting from areas to the east of the site will access the facility through Progress Corporate Park, 100% of the project traffic was assigned to this roadway segment to demonstrate the project’s minimal impact. This section of CR 2054 currently has an available capacity of 11,933 AADT. The estimated 332 new AADT resulting from the proposed Nanotherapeutics ADMF **will not** exceed this roadway’s capacity to operate

at the designated Level of Service (LOS) D. Therefore, the proposed site plan will not negatively impact the City's transportation facilities and designated LOS.

PUBLIC FACILITIES IMPACT ANALYSIS

Table 4: Projected Potable Water Impact

System Category	Gallons Per Day
Current Permitted Capacity ¹	2,300,000
Less actual Potable Water Flows ¹	1,162,000
Reserved Capacity ¹	25,704
Residual Capacity¹	1,112,296
Percentage of Permitted Design Capacity Utilized¹	51.64%
Projected Potable Water Demand from Proposed Project ² (47,000 gpd from sanitary sewer load + 22,000 gpd from cooling towers evaporation + 1,000 gpd human process / consumption)	70,000
Residual Capacity after Proposed Project	1,042,296

1. Source: City of Alachua June 2013 Development Monitoring Report.
 2. Calculated Nanotherapeutics Facility Demand (See Attachment A to this analysis)

Conclusion

Quality: The proposed Nanotherapeutics ADMF will comply with all applicable potable water quality standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.

Quantity: As calculated in Table 4, the City's potable water system has the permitted capacity to meet the demands for the proposed facility. The impacts from the proposed site plan will not cause the City's potable water system to operate at a level below the adopted LOS in the comprehensive plan. CHW has also requested an "Ability to Serve" letter from The City of Alachua Public Works Department based on the estimated demand shown in Table 4. We will provide this letter to City staff upon receipt from Public Works.

System Capacity: As calculated in Table 4, the percentage of the City's potable water system that is being utilized will not exceed 85%. With the calculated impacts from the proposed site plan, the design capacity that will be utilized is only 54.7%.

Table 5: Projected Sanitary Sewer Impact

System Category	Gallons Per Day
Treatment Plant Current Permitted Capacity ¹	1,230,000
Less Actual Treatment Plant Flows ¹	623,000
Reserved Capacity ¹	13,704
Residual Capacity¹	593,296
Percentage of Permitted Design Capacity Utilized¹	51.76%
Projected Sanitary Sewer Demand from Proposed Project ²	44,500
Residual Capacity After Proposed Project	548,796

1. Source: City of Alachua June 2013 Development Monitoring Report.
 2. Calculated Nanotherapeutics Facility Demand (See Attachment C to this analysis)

Conclusion

Quality: The proposed Nanotherapeutics ADMF will comply with all applicable sanitary sewer quality standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.

Quantity: As calculated in Table 5, the City’s sanitary sewer system has the permitted capacity to meet the demands for the proposed facility. The impacts from the proposed site plan will not cause the City’s potable water system to operate at a level below the adopted LOS in the comprehensive plan.

System Capacity: As calculated in Table 4, the percentage of the City’s potable water system that is being utilized will not exceed 85%. With the calculated impacts from the proposed site plan, the design capacity that will be utilized is only 55.4%.

Table 6: Projected Solid Waste Impact

System Category	LBs Per Day	Tons Per Year
Existing Demand ¹	36,536	6,668
Reserved Capacity ¹	1,511	276
New River Solid Waste Facility Capacity¹	50 years	
Solid Waste Generated By Proposed Project ² (12 lbs. / 1,000 ft ² / day) x 165,000 ft ² x 365 / 2000]		361

1. Source: City of Alachua June 2013 Development Monitoring Report.

2. Source: Sincero and Sincero; *Environmental Engineering: A Design Approach*. Prentice Hall, New Jersey, 1996.

Conclusion

As shown in Table 6, the New River Solid Waste Facility has a 50-year capacity. The estimated impacts from the proposed site plan application will not cause the City’s solid waste system to operate at a level below the adopted LOS in the comprehensive plan.

Table 7: Projected Recreational Impact

System Category	Acres
Existing City of Alachua Recreation Acreage ¹	88.60
Acreage Required To Serve Existing Population ¹	45.7
Reserved Capacity ¹	0.05
Available Recreation Acreage¹	42.88
Projected Impacts From Development	0
Residual Recreational Capacity After Proposed Development	42.88

1. Source: City of Alachua June 2013 Development Monitoring Report.

Conclusion

The proposed site plan is for a non-residential use that will not impact or increase demand for the City’s Parks and Recreational system. Therefore, the proposed site plan will not have an impact on the City’s Parks and Recreation Facility LOS.

Stormwater

As stated in the introduction to this analysis, a Grading and Drainage Plan is included as part of the development plan set. The Nanotherapeutics site will convey stormwater to a master planned, off-site stormwater management facility (SMF). This SMF was permitted to handle stormwater for the entire industrial park and is consistent with LOS standards provided in the City's Comprehensive Plan Community Facilities and Natural Groundwater Aquifer Recharge Element Policy 3.1.a as well as the Suwannee River Water Management District standards and requirements.

Attachments: A – Calculated Potable Water Usage
 B – Calculated Sanitary Sewer Usage

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ATTACHMENT A
CALCULATED POTABLE WATER USAGE

Water Pipe Sizing

Pipe Size	Pipe I.D.	Allow. Loss	Allow Flow	Velocity (fps)	Maximum Velocity	Flow at Max. Vel.	Max FU Flush Valve	Max FU Flush Tank
3/4	0.785	0.035	5.76	3.82	6.00	9.05	0	6
1	1.025	0.035	11.63	4.52	6.00	15.43	0	15
1-1/4	1.265	0.035	20.23	5.16	6.00	23.50	0	30
1-1/2	1.505	0.035	31.96	5.76	6.00	33.27	14	56
2	1.985	0.035	66.23	6.87	6.00	57.87	66	160
2-1/2	2.465	0.035	117.12	7.87	6.00	89.24	191	321
3	2.945	0.035	187.07	8.81	6.00	127.38	409	517
4	3.905	0.035	393.14	10.53	6.00	223.96	1116	1116
5	4.887	0.035	705.69	12.07	6.00	350.77	2204	2204
6	5.859	0.035	1137.59	13.54	6.00	504.17	3656	3656

Bathroom Group Cold Water Pipe Sizing

Pipe Size	Pipe I.D.	Maximum Velocity	Flow at Max. Vel.	Max FU Flush Valve	Max FU Flush Tank
3/4	0.785	6.00	9.05	0	12
1	1.025	6.00	15.43	0	21
1-1/4	1.265	6.00	23.50	6	36
1-1/2	1.505	6.00	33.27	16	60
2	1.985	6.00	57.87	66	160
2-1/2	2.465	6.00	89.24	191	321
3	2.945	6.00	127.38	409	517
4	3.905	6.00	223.96	1116	1116

Hot Water Pipe Sizing

Pipe Size	Pipe I.D.	Maximum Velocity	Flow at Max. Vel.	Max FU Flush Tank
3/4	0.785	4.00	6.03	7
1	1.025	4.00	10.29	13
1-1/4	1.265	4.00	15.67	21
1-1/2	1.505	4.00	22.18	34
2	1.985	4.00	38.58	78
2-1/2	2.465	4.00	59.49	170
3	2.945	4.00	84.92	294
4	3.905	4.00	149.31	633

Notes:

- 1 All pipe sizing based on Type L copper tube.
- 2 Fixture Table based on SBCCI Standard Plumbing Code.
- 3 Total Water gpm based on use of Flush Valve type water closets. If flush tanks are used, change "FV" in cell J41 to "FT".

ATTACHMENT B
CALCULATED SANITARY SEWER USAGE

SEWER DEMAND**Affiliated Engineers, Inc.**
3007 SW Williston Rd.
Gainesville, FL 32608-3928
352-376-5500Project NanoADM
Location Alachua, FL

Project Number 11761-00

Date 14-Jun-13

Basic Data:

Number of employees Admin/QA-QC lab 150 1 employee per 100 sq.ft
BSL3/ Manufacturing 100

Demand

		GPD	
For Employees		2500	10 gallons/employee/day
Equipment	Cooling towers	21600	15 gpm (60% of peak demand)
	Boilers	14400	10 gpm
	10 Autoclaves/Glass washers	4000	50 gallons/cycle. 8 cycles/day
	Lab sinks	1000	20 gallons/sink/day. 50 sinks
	Misc Process	1000	
Total		44500	Gallons per day

ATTACHMENT A
CALCULATED POTABLE WATER USAGE

Water Pipe Sizing

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Hot Water Pipe Sizing

Pipe Size	Pipe I.D.	Maximum Velocity	Flow at Max. Vel.	Max FU Flush Tank
3/4	0.785	4.00	6.03	7
1	1.025	4.00	10.29	13
1-1/4	1.265	4.00	15.67	21
1-1/2	1.505	4.00	22.18	34
2	1.985	4.00	38.58	78
2-1/2	2.465	4.00	59.49	170
3	2.945	4.00	84.92	294
4	3.905	4.00	149.31	633

Notes:

- 1 All pipe sizing based on Type L copper tube.
- 2 Fixture Table based on SBCCI Standard Plumbing Code.
- 3 Total Water gpm based on use of Flush Valve type water closets. If flush tanks are used, change "FV" in cell J41 to "FT".

ATTACHMENT B
CALCULATED SANITARY SEWER USAGE

SEWER DEMAND**Affiliated Engineers, Inc.**
3007 SW Williston Rd.
Gainesville, FL 32608-3928
352-376-5500Project NanoADM
Location Alachua, FL

Project Number 11761-00

Date 14-Jun-13

Basic Data:

Number of employees Admin/QA-QC lab 150 1 employee per 100 sq.ft
BSL3/ Manufacturing 100

Demand

		GPD	
For Employees		2500	10 gallons/employee/day
Equipment	Cooling towers	21600	15 gpm (60% of peak demand)
	Boilers	14400	10 gpm
	10 Autoclaves/Glass washers	4000	50 gallons/cycle. 8 cycles/day
	Lab sinks	1000	20 gallons/sink/day. 50 sinks
	Misc Process	1000	
Total		44500	Gallons per day

SEWER DEMAND

Affiliated Engineers, Inc.
3007 SW Williston Rd.
Gainesville, FL 32608-3928
352-376-5500

Project NanoADM
Location Alachua, FL

Project Number 11761-00

Date 14-Jun-13

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 2256568 7 PGS
2006 JUL 12 12:25 PM BK 3416 PG 742
J. K. "BUDDY" IRBY
CLERK OF CIRCUIT COURT
ALACHUA COUNTY, FLORIDA
CLERK13 Receipt#291666
Doc Stamp-Used: 11.200.00

This Document Prepared By and Return to:
Darryl J. Tompkins, Esquire
Darryl J. Tompkins, P.A.
14420 NW 151st Blvd.
P.O. Box 519
Alachua, FL 32616

Parcel ID Numbers: 03927-000-000, 03230-002-000, 03231-005-000



Warranty Deed

This Indenture, Made this 11th day of July, 2006 A.D. Between
O'Steen Brothers, Inc., a corporation existing under the laws of the
State of Florida
of the County of Alachua, State of Florida, grantor, and
ADC Development & Investment Group, LLC, a Florida limited liability
company
Document # L06000044225 FEI-# 20-4798771
whose address is Post Office Box 238, Lake Butler, FL 32054
of the County of Union, State of Florida, grantee.

Witnesseth that the GRANTOR for and in consideration of the sum of
TEN DOLLARS (\$10) DOLLARS,
and other good and valuable consideration to GRANTEE in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, the
grantor, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Alachua State of Florida
to wit:
See Exhibit "A" attached hereto.

SUBJECT TO THE FOLLOWING:

- A. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
- B. Restrictions and matters appearing on the plat and/or common to the subdivision;
- C. Taxes for the year 2006 and subsequent years.

The purpose of reflecting the document number and tax identification number of the Grantee is to avoid any confusion with a limited liability company of the same or similar name.

Grantor hereby reserves for itself, its successors and/or assigns a non-exclusive easement for Ingress/Egress and Public Utilities over and across the property described in Exhibit B attached hereto.

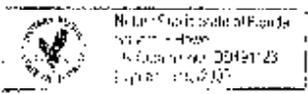
and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever

In Witness Whereof, the grantor has hereunto set its hand and seal the day and first of aforesaid written

Signed, sealed and delivered in our presence: O'Steen Brothers, Inc.
By: William Brad O'Steen (Seal)
Printed Name: WILLIAM BRAD O'STEEN
P.O. Address: 1006 SE 4th Street, Gainesville, FL 32601

Witness
Sandra E. Howe
Printed Name: Sandra E. Howe
Witness

STATE OF Florida
COUNTY OF Alachua
The foregoing instrument was acknowledged before me this 11th day of July, 2006 by
William Brad O'Steen, President of O'Steen Brothers, Inc., a Florida Corporation, on behalf of the corporation
he is personally known to me or he has produced his Florida driver's license as identification.



Sandra E. Howe
Printed Name: Sandra E. Howe
Notary Public 11/15/2009
My Commission Expires:

INSTRUMENT # 2256568
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Exhibit "A"

LEGAL DESCRIPTION

A TRACT OF LAND SITUATED IN SECTIONS 14 AND 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE AFOREMENTIONED SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST FOR THE POINT OF REFERENCE AND RUN SOUTH 88 DEG. 59 MIN. 32 SEC. WEST, ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 23, A DISTANCE OF 40.00 FEET TO THE INTERSECTION OF SAID SOUTH LINE WITH THE WEST RIGHT-OF-WAY LINE OF N.W. 126TH TERRACE (80 FOOT RIGHT-OF-WAY); THENCE RUN SOUTH 89 DEG. 09 MIN. 48 SEC. WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 824.69 FEET TO THE SOUTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2336, PAGE 2030 AND THE TRUE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEG. 08 MIN. 48 SEC. WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 455.86 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 23; THENCE RUN SOUTH 88 DEG. 56 MIN. 13 SEC. WEST, A DISTANCE OF 1526.63 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 23; THENCE RUN NORTH 01 DEG. 25 MIN. 37 SEC. WEST, A DISTANCE OF 1335.11 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23; THENCE RUN SOUTH 89 DEG. 13 MIN. 54 SEC. WEST, A DISTANCE OF 29.24 FEET TO A CONCRETE MONUMENT; THENCE RUN NORTH 01 DEG. 23 MIN. 30 SEC. WEST, A DISTANCE OF 448.94 FEET TO AN IRON PIPE; THENCE RUN NORTH 89 DEG. 37 MIN. 00 SEC. EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 340-A (66 FOOT RIGHT-OF-WAY), A DISTANCE OF 228.17 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHERLY, SAID CURVE HAVING A RADIUS OF 1723.55 FEET; THENCE RUN SOUTHEASTERLY, ALONG SAID RIGHT-OF-WAY LINE AND WITH SAID CURVE, THROUGH AN ARC ANGLE OF 07 DEG. 09 MIN. 49 SEC., AN ARC DISTANCE OF 215.49 FEET (CHORD BEARING AND DISTANCE OF SOUTH 86 DEG. 47 MIN. 30 SEC. EAST, 215.35 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN SOUTH 83 DEG. 11 MIN. 05 SEC. EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 145.67 FEET TO A BOUNDARY CORNER ALONG THE WEST LINE OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2340, PAGE 1962; THENCE RUN SOUTHERLY AND THEN EASTERLY ALONG THE WEST AND SOUTH BOUNDARY LINES OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2340, PAGE 1962 WITH THE FOLLOWING SIX (6) COURSES; SOUTH 06 DEG. 50 MIN. 15 SEC. WEST, 121.22 FEET; SOUTH 71 DEG. 15 MIN. 38 SEC. WEST, 24.34 FEET; SOUTH 03 DEG. 37 MIN. 22 SEC. WEST, 110.55 FEET; NORTH 86 DEG. 46 MIN. 19 SEC. WEST, 107.04 FEET; SOUTH 00 DEG. 51 MIN. 23 SEC. EAST, 358.93 FEET; SOUTH 80 DEG. 27 MIN. 41 SEC. EAST, 690.19 FEET TO THE SOUTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2330, PAGE 1452 OF SAID PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE RUN EASTERLY, NORTHERLY, THEN WESTERLY, ALONG THE SOUTH, EAST, AND NORTH BOUNDARY LINES RESPECTIVELY OF SAID LANDS WITH THE FOLLOWING FOUR (4) COURSES; SOUTH 80 DEG. 34 MIN. 55 SEC. EAST, 279.85 FEET; THENCE RUN NORTHEASTERLY, WITH A CURVE CONCAVE WESTERLY, SAID CURVE HAVING A RADIUS OF 970.00 FEET, THROUGH AN ARC ANGLE OF 19 DEG. 28 MIN. 17 SEC., AN ARC DISTANCE OF 329.64 FEET (CHORD BEARING AND DISTANCE OF NORTH 12 DEG. 41 MIN. 16 SEC. EAST, 328.06 FEET); NORTH 02 DEG. 57 MIN. 06 SEC. EAST, 185.30 FEET; NORTH 82 DEG. 15 MIN. 45 SEC. WEST, 21.42 FEET TO THE NORTHEAST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 1986, PAGE 2681 OF SAID PUBLIC RECORDS; THENCE RUN NORTH 82 DEG. 15 MIN. 45 SEC. WEST, ALONG THE NORTH LINE OF SAID LANDS, A DISTANCE OF 100.71 FEET TO THE

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Exhibit "A" (Continued Pg. 2)

SOUTHEAST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2189, PAGE 412 OF SAID PUBLIC RECORDS; THENCE RUN NORTH 06 DEG. 23 MIN. 52 SEC. EAST, A DISTANCE OF 136.86 FEET TO THE NORTHEAST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2189, PAGE 412; THENCE RUN SOUTH 83 DEG. 11 MIN. 05 SEC. EAST, ALONG THE AFOREMENTIONED SOUTH LINE OF COUNTY ROAD NO. 340-A, A DISTANCE OF 793.94 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHERLY, SAID CURVE HAVING A RADIUS OF 1943.08 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID RIGHT-OF-WAY LINE AND WITH SAID CURVE, THROUGH AN ARC ANGLE OF 20 DEG. 01 MIN. 25 SEC., AN ARC DISTANCE OF 679.06 FEET (CHORD BEARING AND DISTANCE OF NORTH 86 DEG. 35 MIN. 25 SEC. EAST, 625.61 FEET) TO THE WEST RIGHT-OF-WAY LINE OF N.W. 126 TERRACE (80 FOOT RIGHT-OF-WAY); THENCE RUN SOUTH 01 DEG. 35 MIN. 03 SEC. EAST, ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 227.96 FEET TO THE NORTHEAST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2280, PAGE 2275 OF SAID PUBLIC RECORDS; THENCE RUN WESTERLY THEN SOUTHERLY, ALONG THE NORTH AND WEST BOUNDARY LINES OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2280, PAGE 2275 WITH THE FOLLOWING TWO (2) COURSES; SOUTH 89 DEG. 20 MIN. 04 SEC. WEST, 392.39 FEET; SOUTH 01 DEG. 36 MIN. 01 SEC. EAST, 222.49 FEET TO THE SOUTHWEST CORNER OF SAID LANDS, SAID SOUTHWEST CORNER LOCATED ON THE NORTH BOUNDARY LINE OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN RECORDS BOOK 2355, PAGE 2784 OF SAID PUBLIC RECORDS; THENCE RUN WESTERLY, SOUTHERLY, AND EASTERLY ALONG SAID NORTH LINE AND THE WEST AND SOUTH BOUNDARY LINES OF SAID LANDS DESCRIBED OFFICIAL RECORDS BOOK 2355, PAGE 2784 WITH THE FOLLOWING FOUR (4) COURSES; SOUTH 89 DEG. 09 MIN. 52 SEC. WEST, 163.26 FEET; SOUTH 01 DEG. 44 MIN. 38 SEC. EAST, 137.92 FEET; SOUTH 57 DEG. 02 MIN. 36 SEC. EAST, 183.57 FEET; NORTH 89 DEG. 09 MIN. 52 SEC. EAST, 403.95 FEET TO THE SOUTHEAST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2355, PAGE 2784; THENCE RUN SOUTH 01 DEG. 35 MIN. 03 SEC. EAST, ALONG THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE OF N.W. 126TH TERRACE, A DISTANCE OF 160.80 FEET TO THE NORTHEAST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2044, PAGE 2959 OF THE SAID PUBLIC RECORDS; THENCE RUN WESTERLY AND THEN SOUTHERLY ALONG THE NORTH AND WEST BOUNDARY LINES OF SAID LANDS THAT WITH THE FOLLOWING TWO (2) COURSES; SOUTH 89 DEG. 00 MIN. 44 SEC. WEST, 314.88 FEET; SOUTH 19 DEG. 04 MIN. 06 SEC. WEST, 170.11 FEET TO THE SOUTHWEST CORNER OF SAID LANDS; THENCE RUN WESTERLY AND THEN SOUTHERLY ALONG THE NORTH AND WEST BOUNDARY LINES OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2336, PAGE 2030 OF SAID PUBLIC RECORDS WITH THE FOLLOWING TWO (2) COURSES; SOUTH 89 DEG. 10 MIN. 24 SEC. WEST, 450.16 FEET; SOUTH 01 DEG. 36 MIN. 44 SEC. EAST, 549.84 FEET TO THE TRUE POINT OF BEGINNING.

LESS AND EXCEPT:

A PARCEL OF LAND BEING SITUATED IN SECTION 14, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; THENCE NORTH 01°35'03" WEST ALONG THE EAST LINE OF THE SAID NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SAID SECTION 23, A DISTANCE OF 1332.71 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4); THENCE SOUTH 89°20'04" WEST, ALONG THE NORTH LINE OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4), A DISTANCE OF 39.88 FEET TO THE NORTHEAST CORNER OF LANDS DESCRIBED IN OFFICIAL

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Exhibit "A" (Continued Pg. 3)

RECORDS BOOK 2280, PAGE 2275 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE CONTINUE SOUTH 89°20'04" WEST ALONG THE NORTH LINE OF SAID LANDS, A DISTANCE OF 224.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°20'04" WEST, ALONG SAID NORTH LINE, A DISTANCE OF 168.02 FEET TO THE NORTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2280, PAGE 2275; THENCE NORTH 01°36'01" WEST, A DISTANCE OF 180.36 FEET TO THE SOUTH RIGHT OF WAY LINE OF COUNTY ROAD NO. 340-A (66 FOOT RIGHT OF WAY), SAID RIGHT OF WAY LINE BEING A CURVE CONCAVE NORTHERLY WITH A RADIUS OF 1943.08 FEET; THENCE NORTHEASTERLY ALONG SAID RIGHT OF WAY AND WITH SAID CURVE, THROUGH AN ARC ANGLE OF 04°57'38", AN ARC DISTANCE OF 168.23 FEET (CHORD BEARING AND DISTANCE OF NORTH 85°45'10" EAST, A DISTANCE OF 168.18 FEET); THENCE DEPARTING SAID RIGHT OF WAY SOUTH 01°36'01" EAST, A DISTANCE OF 190.87 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A 20 FOOT PUBLIC UTILITY EASEMENT OVER, UNDER, AND ACROSS THE SOUTH 20 FEET THEREOF.

ALSO LESS AND EXCEPT:

A TRACT OF LAND SITUATED IN SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE AFOREMENTIONED SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST FOR THE POINT OF REFERENCE AND RUN SOUTH 88 DEG. 59 MIN. 32 SEC. WEST, ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 23, A DISTANCE OF 40.00 FEET TO THE INTERSECTION OF SAID SOUTH LINE WITH THE WEST RIGHT OF WAY LINE OF N.W. 126TH TERRACE (80 FOOT RIGHT OF WAY); THENCE RUN SOUTH 89 DEG. 09 MIN. 48 SEC. WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 824.69 FEET TO THE SOUTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2336, PAGE 2030 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE RUN SOUTH 89 DEG. 09 MIN. 35 SEC. WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 137.86 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEG. 09 MIN. 35 SEC. WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 318.00 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 23; THENCE RUN SOUTH 88 DEG. 55 MIN. 49 SEC. WEST, ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 23, A DISTANCE OF 640.56 FEET; THENCE RUN NORTH 01 DEG. 03 MIN. 47 SEC. WEST, A DISTANCE OF 480.00 FEET TO THE SOUTH LINE OF A 60 FOOT WIDE INGRESS, EGRESS, AND PUBLIC UTILITIES EASEMENT; THENCE RUN NORTH 88 DEG. 56 MIN. 13 SEC. EAST, ALONG SAID SOUTH LINE, A DISTANCE OF 163.50 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, SAID CURVE HAVING A RADIUS OF 330.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID SOUTHERLY LINE OF THE 60 FOOT WIDE INGRESS, EGRESS, AND PUBLIC UTILITIES EASEMENT AND WITH SAID CURVE, THROUGH AN ARC ANGLE OF 60 DEG. 17 MIN. 32 SEC., AN ARC DISTANCE OF 347.26 FEET (CHORD BEARING AND DISTANCE OF NORTH 58 DEG. 47 MIN. 27 SEC. EAST, 331.46 FEET RESPECTIVELY); THENCE RUN SOUTH 52 DEG. 15 MIN. 02 SEC. EAST, A DISTANCE OF 391.90 FEET; THENCE RUN NORTH 86 DEG. 26 MIN. 19 SEC. EAST, A DISTANCE OF 75.99 FEET; THENCE RUN SOUTH 01 DEG. 36 MIN. 44 SEC. EAST, A DISTANCE OF 212.53 FEET; THENCE RUN SOUTH 34 DEG. 02 MIN. 42 SEC. EAST, A DISTANCE OF 229.82 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 10.05 ACRES MORE OR LESS.

THE ABOVE DESCRIBED OVERALL TRACT OF LAND OF LAND CONTAINS 64.731 ACRES MORE OR LESS.

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Exhibit "B"

60 FOOT INGRESS/EGRESS AND PUBLIC UTILITIES PARCEL

A TRACT OF LAND SITUATED IN SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST ¼ OF THE NORTHEAST ¼ OF THE AFOREMENTIONED SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, FOR THE POINT OF REFERENCE AND RUN S 88° 59' 32" W, ALONG THE SOUTH LINE OF SAID NORTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 23, A DISTANCE OF 40.00 FEET TO THE INTERSECTION OF SAID SOUTH LINE WITH THE WEST RIGHT OF WAY LINE OF N.W. 126TH TERRACE (80 FOOT RIGHT OF WAY); THENCE RUN N 01° 34' 39" W, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 710.84 FEET; THENCE RUN N 01° 34' 50" W, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 41.44 FEET TO AN INTERSECTION WITH A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 32.00 FEET AND THE POINT OF BEGINNING; THENCE RUN NORTHWESTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 43° 51' 09" AND AN ARC DISTANCE OF 24.49 FEET (CHORD BEARING AND DISTANCE OF N 69° 39' 16" W, 23.90 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S 88° 25' 10" W, A DISTANCE OF 238.14 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 34° 32' 14" AN ARC DISTANCE OF 198.92 FEET (CHORD BEARING AND DISTANCE OF N 74° 18' 43" W, 195.92 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 57° 02' 36" W, A DISTANCE OF 413.15 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 95° 26' 40" AN ARC DISTANCE OF 449.77 FEET (CHORD BEARING AND DISTANCE OF S 75° 14' 04" W, 399.54 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 393.89 FEET; THENCE RUN SOUTHWESTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 24° 18' 35" AN ARC DISTANCE OF 167.12 FEET (CHORD BEARING AND DISTANCE OF S 39° 40' 02" W, 165.87 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S 51° 49' 20" W, A DISTANCE OF 110.99 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 300.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 24° 56' 20" AN ARC DISTANCE OF 130.58 FEET (CHORD BEARING AND DISTANCE OF S 39° 21' 10" W, 129.55 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE

CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE RUN SOUTHWESTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 62° 03' 13" AN ARC DISTANCE OF 357.40 FEET (CHORD BEARING AND DISTANCE OF S 57° 54' 37" W, 340.19 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S 88° 56' 13" W, A DISTANCE OF 530.79 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 52.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 49° 00' 16" AN ARC DISTANCE OF 44.48 FEET (CHORD BEARING AND DISTANCE OF S 64° 26' 05" W, 43.13 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHERLY, EASTERLY AND SOUTHERLY, SAID CURVE HAVING A RADIUS OF 73.00 FEET; THENCE RUN SOUTHWESTERLY, WESTERLY, NORTHWESTERLY, NORTHERLY, NORTHEASTERLY, EASTERLY AND SOUTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 278° 00' 32" AN ARC DISTANCE OF 354.21 FEET (CHORD BEARING AND DISTANCE OF

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Exhibit "B" (Continued Pg. 2)

N 01° 03' 47" W, 95.78 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 52.00 FEET; THENCE RUN SOUTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 49° 00' 16" AN ARC DISTANCE OF 44.48 FEET (CHORD BEARING AND DISTANCE OF S 66° 33' 39" E, 43.13 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 88° 56' 13" E, A DISTANCE OF 530.79 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE RUN NORTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 62° 03' 13" AN ARC DISTANCE OF 292.42 FEET (CHORD BEARING AND DISTANCE OF N 57° 54' 37" E, 278.34 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 360.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 24° 56' 20" AN ARC DISTANCE OF 156.70 FEET (CHORD BEARING AND DISTANCE OF N 39° 21' 10" E, 155.46 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 51° 49' 20" E, A DISTANCE OF 110.99 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 333.89 FEET; THENCE RUN NORTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 24° 18' 35" AN ARC DISTANCE OF 141.66 FEET (CHORD BEARING AND DISTANCE OF N 39° 40' 02" E, 140.60 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 95° 26' 40" AN ARC DISTANCE OF 549.72 FEET (CHORD BEARING AND DISTANCE OF N 75° 14' 04" E, 488.33 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S 57° 02' 36" E, A DISTANCE OF 413.15 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE RUN SOUTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 31° 32' 11" AN ARC DISTANCE OF 162.73 FEET (CHORD BEARING AND DISTANCE OF S 74° 18' 43" E, 160.30 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 88° 25' 10" E, A DISTANCE OF 208.14 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 62.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 57° 18' 35" AN ARC DISTANCE OF 62.02 FEET (CHORD BEARING AND DISTANCE OF N 59° 45' 52" E, 59.46 FEET RESPECTIVELY) TO THE AFOREMENTIONED WEST RIGHT OF WAY LINE OF N.W. 126TH TERRACE; THENCE RUN S 01° 34' 50" E, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 97.44 FEET TO THE POINT OF BEGINNING; CONTAINING 4.550 ACRES MORE OR LESS.

ALL AS SHOWN ON THE MAP ATTACHED
HEREWITH AND MADE A PART HEREOF

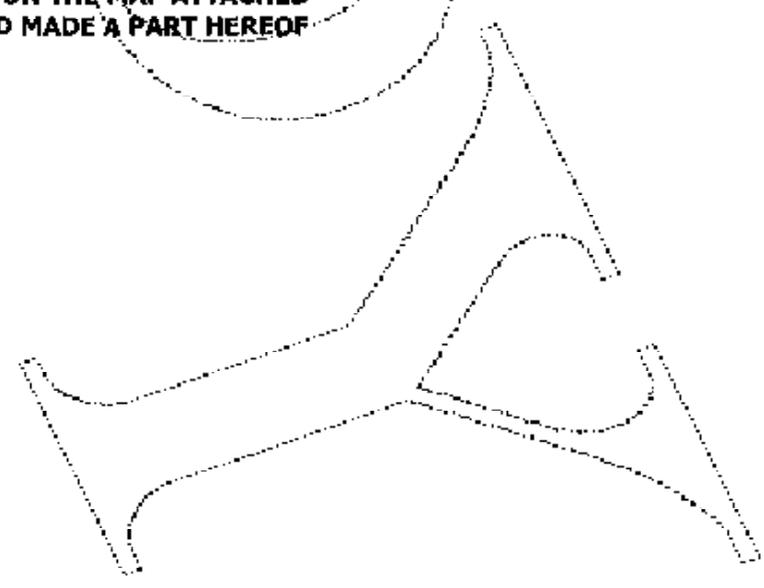
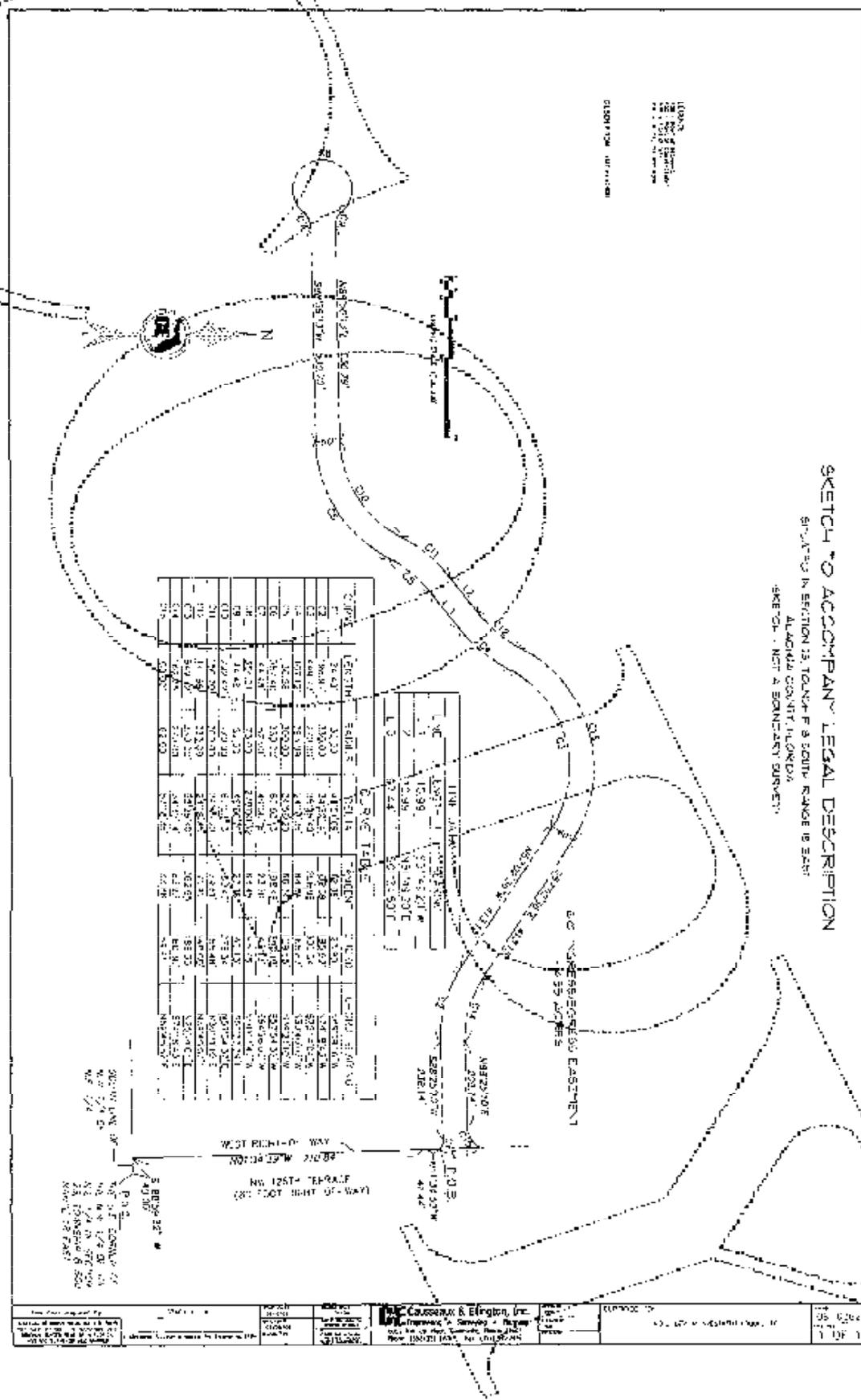


Exhibit "B" (Continued Pg. 3)

INSTRUMENT # 2256568
7 PGS



SKETCH TO ACCOMPANY LEGAL DESCRIPTION

SHOWN IN SECTION 13, TOWN OF SOUTH RANGE 18 EAST
ALACHUA COUNTY, FLORIDA
(SKETCH - NOT A BOUNDARY SURVEY)

LINE	BEARING	DISTANCE	AREA	PERCENT
1	N 89° 59' 00" W	153.99	153.99	100.00
2	S 89° 59' 00" E	153.99	153.99	100.00
3	S 89° 59' 00" E	153.99	153.99	100.00
4	N 89° 59' 00" W	153.99	153.99	100.00
5	N 89° 59' 00" W	153.99	153.99	100.00
6	S 89° 59' 00" E	153.99	153.99	100.00
7	N 89° 59' 00" W	153.99	153.99	100.00
8	S 89° 59' 00" E	153.99	153.99	100.00
9	N 89° 59' 00" W	153.99	153.99	100.00
10	S 89° 59' 00" E	153.99	153.99	100.00
11	N 89° 59' 00" W	153.99	153.99	100.00
12	S 89° 59' 00" E	153.99	153.99	100.00
13	N 89° 59' 00" W	153.99	153.99	100.00
14	S 89° 59' 00" E	153.99	153.99	100.00
15	N 89° 59' 00" W	153.99	153.99	100.00
16	S 89° 59' 00" E	153.99	153.99	100.00
17	N 89° 59' 00" W	153.99	153.99	100.00
18	S 89° 59' 00" E	153.99	153.99	100.00
19	N 89° 59' 00" W	153.99	153.99	100.00
20	S 89° 59' 00" E	153.99	153.99	100.00
21	N 89° 59' 00" W	153.99	153.99	100.00
22	S 89° 59' 00" E	153.99	153.99	100.00
23	N 89° 59' 00" W	153.99	153.99	100.00
24	S 89° 59' 00" E	153.99	153.99	100.00
25	N 89° 59' 00" W	153.99	153.99	100.00
26	S 89° 59' 00" E	153.99	153.99	100.00
27	N 89° 59' 00" W	153.99	153.99	100.00
28	S 89° 59' 00" E	153.99	153.99	100.00
29	N 89° 59' 00" W	153.99	153.99	100.00
30	S 89° 59' 00" E	153.99	153.99	100.00
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35	N 89° 59' 00" W	153.99	153.99	100.00
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52	S 89° 59' 00" E	153.99	153.99	100.00
53	N 89° 59' 00" W	153.99	153.99	100.00
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64	S 89° 59' 00" E	153.99	153.99	100.00
65	N 89° 59' 00" W	153.99	153.99	100.00
66	S 89° 59' 00" E	153.99	153.99	100.00
67	N 89° 59' 00" W	153.99	153.99	100.00
68	S 89° 59' 00" E	153.99	153.99	100.00
69	N 89° 59' 00" W	153.99	153.99	100.00
70	S 89° 59' 00" E	153.99	153.99	100.00
71	N 89° 59' 00" W	153.99	153.99	100.00
72	S 89° 59' 00" E	153.99	153.99	100.00
73	N 89° 59' 00" W	153.99	153.99	100.00
74	S 89° 59' 00" E	153.99	153.99	100.00
75	N 89° 59' 00" W	153.99	153.99	100.00
76	S 89° 59' 00" E	153.99	153.99	100.00
77	N 89° 59' 00" W	153.99	153.99	100.00
78	S 89° 59' 00" E	153.99	153.99	100.00
79	N 89° 59' 00" W	153.99	153.99	100.00
80	S 89° 59' 00" E	153.99	153.99	100.00
81	N 89° 59' 00" W	153.99	153.99	100.00
82	S 89° 59' 00" E	153.99	153.99	100.00
83	N 89° 59' 00" W	153.99	153.99	100.00
84	S 89° 59' 00" E	153.99	153.99	100.00
85	N 89° 59' 00" W	153.99	153.99	100.00
86	S 89° 59' 00" E	153.99	153.99	100.00
87	N 89° 59' 00" W	153.99	153.99	100.00
88	S 89° 59' 00" E	153.99	153.99	100.00
89	N 89° 59' 00" W	153.99	153.99	100.00
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91	N 89° 59' 00" W	153.99	153.99	100.00
92	S 89° 59' 00" E	153.99	153.99	100.00
93	N 89° 59' 00" W	153.99	153.99	100.00
94	S 89° 59' 00" E	153.99	153.99	100.00
95	N 89° 59' 00" W	153.99	153.99	100.00
96	S 89° 59' 00" E	153.99	153.99	100.00
97	N 89° 59' 00" W	153.99	153.99	100.00
98	S 89° 59' 00" E	153.99	153.99	100.00
99	N 89° 59' 00" W	153.99	153.99	100.00
100	S 89° 59' 00" E	153.99	153.99	100.00

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 2482697 5 PGS
Oct 22 2008 12:13:
2004 3838 PAGE 000
J. W. "BOBBY" IRBY
Clerk Of Circuit Court
Alachua County, Florida
CLERK'S Receipt # 388977

Doc Stamp-Deed: \$2,174.90



2482697 5 PGS

This Document Prepared By and Return to:
Darryl J. Tompkins, Esquire
Darryl J. Tompkins, P.A.
P.O. Box 519
Alachua, FL 32616

Parcel ID Number: 03927-000-000 (portion of)

Warranty Deed

This Indenture, Made this 20th day of October, 2008 A.D., Between
ADC Development & Investment Group, LLC, a Florida limited liability company
Document #1.0600044225

of the County of Union, State of Florida, Grantor, and

Spear Copeland, LLC, a Florida limited liability company
Document #E09000097436
whose post office address is : 2225 NW 06th Court, Gainesville, FL 32653

of the County of Alachua, State of Florida, Grantee

Witnesseth that the GRANTOR, for and in consideration of the sum of TEN & NO/100 (\$10.00), and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt of which is hereby acknowledged, has granted, bargained and sold to the said GRANTEE and GRANTEE'S successors and assigns forever, the following described land, situate, lying and being in the County of Alachua, State of Florida to-wit:

See Attached Exhibit "A"

SUBJECT TO THE FOLLOWING:

- A. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
- B. Restrictions and matters appearing in the public records and/or common to the Copeland Industrial Park;
- C. Taxes for the year 2008 and subsequent years.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

ADC Development & Investment Group, LLC
a Florida limited liability company

Denise C. Howard
Printed Name: Denise C. Howard
Amber Roberts Crawford
Printed Name: Amber Roberts Crawford

By: *Avery C. Roberts*
Avery C. Roberts
Managing Member
P. O. Address: Post Office Box 238, Lake Hill, TN 37056

STATE OF FLORIDA
COUNTY OF UNION

The foregoing instrument was acknowledged before me this 20th day of October, 2008 by Avery C. Roberts, Managing Member of ADC Development & Investment Group, LLC, a Florida limited liability company, on behalf of the company, who is personally known to me or has produced his Florida drivers license as identification.



Denise C. Howard
Notary Public State of Florida
Printed Name: Denise C. Howard
My Commission Expires:

Warranty Deed - Page 2

Parcel ID Number 03927-000-000 (portion of)

Signed, sealed and delivered in our presence:

**ADC Development & Investment Group, LLC
a Florida limited liability company**

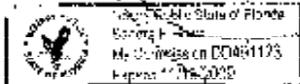
[Signature]
Printed Name: AMBER ROBERTS-CRAWFORD

By: *[Signature]*
**Dexter A. O'Steen
Managing Member**
P. O. Address: Post Office Box 238, Lake Butler, FL 32054

[Signature]
Printed Name: BARRETT J. CAMPBELL

**STATE OF FLORIDA
COUNTY OF UNION**

The foregoing instrument was acknowledged before me this 26th day of October, 2008 by **Dexter A. O'Steen, Managing Member of ADC Development & Investment Group, LLC, a Florida limited liability company**, on behalf of the company, who is personally known to me or has produced his Florida drivers license as identification.



[Signature]
Notary Public State of Florida
Printed Name: SCOTT E. HOWE
My Commission Expires: 11/15/2010

10/26/08

EXHIBIT "A"
Page 1 of 3

A TRACT OF LAND SITUATED IN SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23, FOR THE POINT OF REFERENCE; THENCE SOUTH 88°59'32" WEST, ALONG THE SOUTH LINE OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23, A DISTANCE OF 40.00 FEET TO THE SOUTHEAST CORNER OF LANDS DESCRIBED IN EXHIBIT "B" OF OFFICIAL RECORDS BOOK 2336, PAGE 2030 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 89°09'48" WEST, ALONG THE SOUTH LINE OF SAID LANDS AND ALONG THE SOUTH LINE OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23, A DISTANCE OF 824.69 FEET TO THE SOUTHWEST CORNER OF LANDS AS DESCRIBED IN EXHIBIT "A" OF SAID OFFICIAL RECORDS BOOK 2336, PAGE 2030; THENCE CONTINUE SOUTH 89°08'48" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 455.86 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER (NW 1/4 OF NE 1/4) OF SAID SECTION 23; THENCE SOUTH 88°56'13" WEST, ALONG THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER (NE 1/4 OF NW 1/4) OF SAID SECTION 23, A DISTANCE OF 640.56 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 88°56'13" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 455.13 FEET; THENCE DEPARTING SAID SOUTH LINE, NORTH 01°03'47" WEST, A DISTANCE OF 437.29 FEET TO A POINT ON THE SOUTHERLY LINE OF A 60 FOOT WIDE INGRESS/EGRESS & PUBLIC UTILITIES EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 3416, PAGE 742 OF THE PUBLIC RECORDS OF SAID COUNTY; SAID A POINT BEING ON A NON-TANGENT CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 73.00 FEET, AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 61°52'50" EAST, 54.57 FEET; THENCE THE FOLLOWING THREE (3) COURSES ALONG SAID SOUTH LINE; (1) NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 43°53'46", AND ARC DISTANCE OF 55.93 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 52.00 FEET, AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 64°26'05" EAST, 43.74 FEET; (2) THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 49°00'16", AN ARC DISTANCE OF 47.48 FEET TO THE POINT OF TANGENCY; (3) THENCE NORTH 88°56'13" EAST, A DISTANCE OF 367.29 FEET; THENCE DEPARTING SAID SOUTH LINE, SOUTH 01°03'47" EAST, A DISTANCE OF 480.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH

A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES SITUATED IN SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

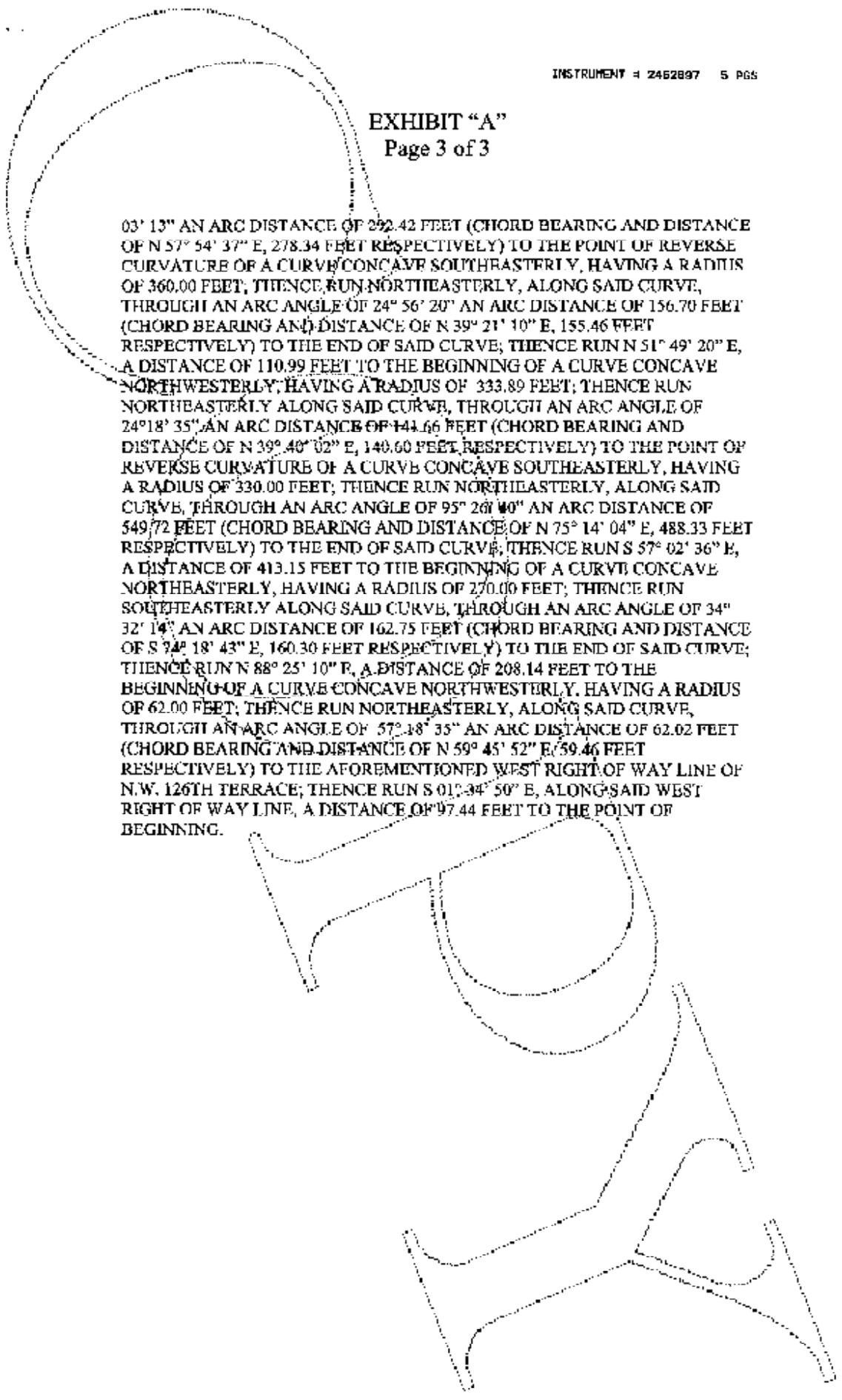
COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE AFOREMENTIONED SECTION 23, TOWNSHIP 8 SOUTH, RANGE 18 EAST, FOR THE POINT OF REFERENCE AND RUN S 88° 59'

EXHIBIT "A"
Page 2 of 3

32" W, ALONG THE SOUTH LINE OF SAID NORTHWEST ¼ OF THE
 NORTHEAST ¼ OF SECTION 23, A DISTANCE OF 40.00 FEET TO THE
 INTERSECTION OF SAID SOUTH LINE WITH THE WEST RIGHT OF WAY LINE
 OF N.W. 126TH TERRACE (80 FOOT RIGHT OF WAY); THENCE RUN N 01° 34'
 39" W, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 710.84
 FEET; THENCE RUN N 01° 34' 50" W, ALONG SAID WEST RIGHT OF WAY
 LINE, A DISTANCE OF 41.44 FEET TO AN INTERSECTION WITH A NON-
 TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 32.00
 FEET AND THE POINT OF BEGINNING; THENCE RUN NORTHWESTERLY,
 ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 43° 51' 09" AND AN ARC
 DISTANCE OF 24.49 FEET, (CHORD BEARING AND DISTANCE OF N 69° 39' 16"
 W, 23.90 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S
 88° 25' 10" W, A DISTANCE OF 238.14 FEET TO THE BEGINNING OF A CURVE
 CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE
 RUN NORTHWESTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF
 34° 32' 14" AN ARC DISTANCE OF 198.92 FEET (CHORD BEARING AND
 DISTANCE OF N 74° 18' 43" W, 195.92 FEET RESPECTIVELY) TO THE END OF
 SAID CURVE; THENCE RUN N 57° 02' 36" W, A DISTANCE OF 413.15 FEET TO
 THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A
 RADIUS OF 270.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID
 CURVE, THROUGH AN ARC ANGLE OF 95° 26' 40" AN ARC DISTANCE OF
 449.77 FEET (CHORD BEARING AND DISTANCE OF S 75° 14' 04" W, 399.54
 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE
 CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 393.89 FEET; THENCE
 RUN SOUTHWESTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF
 24° 18' 35" AN ARC DISTANCE OF 167.12 FEET (CHORD BEARING AND
 DISTANCE OF S 39° 40' 02" W, 165.87 FEET RESPECTIVELY) TO THE END OF
 SAID CURVE; THENCE RUN S 51° 49' 20" W, A DISTANCE OF 110.99 FEET TO
 THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A
 RADIUS OF 300.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID
 CURVE, THROUGH AN ARC ANGLE OF 24° 56' 20" AN ARC DISTANCE OF
 130.58 FEET (CHORD BEARING AND DISTANCE OF S 39° 21' 10" W, 129.55
 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE
 CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE
 RUN SOUTHWESTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF
 62° 03' 13" AN ARC DISTANCE OF 357.40 FEET (CHORD BEARING AND
 DISTANCE OF S 57° 54' 37" W, 340.19 FEET RESPECTIVELY) TO THE END OF
 SAID CURVE; THENCE RUN S 88° 56' 13" W, A DISTANCE OF 530.79 FEET TO
 THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A
 RADIUS OF 52.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID
 CURVE, THROUGH AN ARC ANGLE OF 49° 00' 16" AN ARC DISTANCE OF
 44.48 FEET (CHORD BEARING AND DISTANCE OF S 64° 26' 05" W, 43.13 FEET
 RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE,
 CONCAVE NORTHERLY, EASTERLY AND SOUTHERLY, SAID CURVE
 HAVING A RADIUS OF 73.00 FEET; THENCE RUN SOUTHWESTERLY,
 WESTERLY, NORTHWESTERLY, NORTHERLY, NORTHEASTERLY, EASTERLY
 AND SOUTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF
 278° 00' 32" AN ARC DISTANCE OF 354.21 FEET (CHORD BEARING AND
 DISTANCE OF N 01° 03' 47" W, 95.78 FEET RESPECTIVELY) TO THE POINT OF
 REVERSE CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING
 A RADIUS OF 52.00 FEET; THENCE RUN SOUTHEASTERLY, ALONG SAID
 CURVE, THROUGH AN ARC ANGLE OF 42° 00' 16" AN ARC DISTANCE OF
 44.48 FEET (CHORD BEARING AND DISTANCE OF S 66° 33' 39" E, 43.13 FEET
 RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 88° 56' 13" E,
 A DISTANCE OF 530.79 FEET TO THE BEGINNING OF A CURVE CONCAVE
 NORTHWESTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE RUN
 NORTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 62°

EXHIBIT "A"
Page 3 of 3

03' 13" AN ARC DISTANCE OF 292.42 FEET (CHORD BEARING AND DISTANCE OF N 57° 54' 37" E, 278.34 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 360.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 24° 56' 20" AN ARC DISTANCE OF 156.70 FEET (CHORD BEARING AND DISTANCE OF N 39° 21' 10" E, 155.46 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 51° 49' 20" E, A DISTANCE OF 110.99 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 333.89 FEET; THENCE RUN NORTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 24° 18' 35" AN ARC DISTANCE OF 144.66 FEET (CHORD BEARING AND DISTANCE OF N 39° 40' 02" E, 140.60 FEET RESPECTIVELY) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 95° 26' 40" AN ARC DISTANCE OF 549.72 FEET (CHORD BEARING AND DISTANCE OF N 75° 14' 04" E, 488.33 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN S 57° 02' 36" E, A DISTANCE OF 413.15 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE RUN SOUTHEASTERLY ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 34° 32' 14" AN ARC DISTANCE OF 162.75 FEET (CHORD BEARING AND DISTANCE OF S 74° 18' 43" E, 160.30 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 88° 25' 10" E, A DISTANCE OF 208.14 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 62.00 FEET; THENCE RUN NORTHEASTERLY, ALONG SAID CURVE, THROUGH AN ARC ANGLE OF 57° 48' 35" AN ARC DISTANCE OF 62.02 FEET (CHORD BEARING AND DISTANCE OF N 59° 45' 52" E, 59.46 FEET RESPECTIVELY) TO THE AFOREMENTIONED WEST RIGHT OF WAY LINE OF N.W. 126TH TERRACE; THENCE RUN S 01° 34' 50" E, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 97.44 FEET TO THE POINT OF BEGINNING.



03229-002-000
THE CHRISTOPHER CORPORATION
PO BOX 1000
ALACHUA, FL 32616

03229-003-000
PHOENIX COMMERCIAL PARK
PO BOX 1000
ALACHUA, FL 32616

03230-002-000
GROUP LLC ADC DEVELOPMENT &
INVESTMENT
PO BOX 238
LAKE BUTLER, FL 32054

03230-002-001
PETRA HOLDINGS COMPANY LLC
12775 RACHEL BLVD
ALACHUA, FL 32615-6698

03231-001-000
INC BARBER LUMBER SALES OF
ALACHUA
PO BOX 263
ALACHUA, FL 32616-0263

03231-002-000
GLENN BLUMBERG
11421 NW 120TH TER
ALACHUA, FL 32615

03231-004-000
DUAL ENTERPRISES LLC
PO BOX 1808
ALACHUA, FL 32616

03231-005-000
GROUP LLC ADC DEVELOPMENT &
INVESTMENT
PO BOX 238
LAKE BUTLER, FL 32054

03231-005-001
RBC BANK
301 FAYETTEVILLE ST STE 1200
RALEIGH, NC 27601

03507-001-000
SAKICHAND DALCHAND
10304 W STATE ROAD 235
ALACHUA, FL 32615-4942

03508-001-000
JOHNNIE LEE BROWN
PO BOX 213
ALACHUA, FL 32616-0213

03511-000-000
CHRISTINE F HOWARD
PO BOX 913
ALACHUA, FL 32616-0913

03516-000-000
CAROLYN L HEIRS WALLACE
6003 WABASH RD
ORLANDO, FL 32807

03517-000-000
BARBARY & SIMMONS
PO BOX 812
ALACHUA, FL 32616-0812

03518-001-000
FLORA M BRYANT
PO BOX 556
ALACHUA, FL 32616-0556

03518-002-000
PERNOLA G BARBARY
PO BOX 812
ALACHUA, FL 32616-0812

03934-001-020
JENKINS ALLEN & ALLEN &
FREENEY &
12008 NW 148TH PL
ALACHUA, FL 32615

03934-001-021
SHENITTA L DANIELS
PO BOX 1558
ALACHUA, FL 32616-1558

03934-001-022
CORINE C LIFE ESTATE
BROCKINGTON
PO BOX 122
LACROSSE, FL 32658

03934-001-023
ENLOE & MAMMINO
14293 NW 159TH LN
ALACHUA, FL 32615

03934-001-024
FRANCES T YOUNG
PO BOX 1633
ALACHUA, FL 32616-1633

03934-001-025
SHANTAN K GEORGE
13613 NW 141ST PL
ALACHUA, FL 32615

03934-001-026
KEEGAN D GAY
13617 NW 141ST PL
ALACHUA, FL 32615

03934-002-000
CHARLOTTE ELIZABETH LIFE EST
HAGAN
14013 NW 138TH ST
ALACHUA, FL 32615

03934-003-000
JAMES CASEY JONES & JONES &
JONES
PO BOX 373
ALACHUA, FL 32616-0373

03934-001-014
VERONICA GRAHAM
PO BOX 2304
ALACHUA, FL 32615

03934-001-015
ARCHIE-BOTHNER ARCHIE &
ARCHIE & ARCHIE &
13612 NW 141ST PL
ALACHUA, FL 32615

03934-001-016
LOIS BIRENBAUM & NORWITZ
25414 NW COOUNTY RD 241
ALACHUA, FL 32615

03934-001-017
LIZA J VILLALOBOS
13528 NW 141ST PL
ALACHUA, FL 32616

03934-001-018
BETTY HEIRS HODGE
13514 NW 141ST PL
ALACHUA, FL 32615

03934-001-019 H/W JENKINS & MCDANIEL-JENKINS 13510 NW 141ST PL ALACHUA, FL 32616	03927-007-001 GROUP LLC ADC DEVELOPMENT & INVESTMENT PO BOX 238 LAKE BUTLER, FL 32054	03927-008-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601
03927-009-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601	03927-010-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601	03927-011-000 SPEAR COPELAND LLC 2225 NW 66TH CT GAINESVILLE, FL 32653
03931-010-012 ANGELA FORD 13604 NW 137TH PL ALACHUA, FL 32615	03931-010-013 BRUCE D JOHNSON 13558 NW 137TH PL GAINESVILLE, FL 32615	03931-010-014 LESLIE & POURCHOT-LESLIE H/W 17763 NW 105TH TER ALACHUA, FL 32615-5610
03931-010-015 DAVID S BISHOP 13530 NW 137TH PL ALACHUA, FL 32615-6200	03931-010-016 GEORGIA A GRIFFIN 13510 NW 137TH PL ALACHUA, FL 32615	03931-010-017 CAROLYN A MITCHELL 13505 NW 137TH PL ALACHUA, FL 32615
03931-010-018 PERCIVAL I FRANCIS 13521 NW 137TH PL ALACHUA, FL 32615	03931-010-019 VINTRICE VERONICA REINKE 13533 NW 137TH PL ALACHUA, FL 32615	03927-000-000 GROUP LLC ADC DEVELOPMENT & INVESTMENT PO BOX 238 LAKE BUTLER, FL 32054
03927-001-000 DAMON NANOSONIC PRODUCTS INC 27317 NW 78TH AVE HIGH SPRINGS, FL 32643	03927-002-000 KOOZ PROPERTIES LLC 2815 NW 13TH ST STE 423 GAINESVILLE, FL 32609	03927-003-000 KOOZ PROPERTIES LLC 2815 NW 13TH ST STE 423 GAINESVILLE, FL 32609
03927-004-000 BB&C LLC 14000 NW 126TH TER ALACHUA, FL 32615	03927-005-000 CV II PARTNERSHIP 4656 34TH ST SOUTHWEST ORLANDO, FL 32811	03927-006-000 ALACHUA INC BARBER LUMBER SALES OF PO BOX 263 ALACHUA, FL 32616-0263
03927-007-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601	03929-001-000 CITY OF ALACHUA PO BOX 9 ALACHUA, FL 32616-0009	03934-001-001 NOLA L TOUCHE 13515 NW 142ND AVE ALACHUA, FL 32615
03934-001-002 JIMMY L WALKER 13521 NW 142ND AVE ALACHUA, FL 32615	03934-001-003 LENORA CAFFIE PO BOX 1441 ALACHUA, FL 32616-1441	03934-001-004 WAYNE P PORTER PO BOX 913 ALACHUA, FL 32616-0913
03956-010-004 STATE OF FLA IIF % DEP-3900 COMMONWEALTH BLVD TALLAHASSEE, FL 32399	03933-000-000 GREEN HILL OF ALACHUA INC PO BOX 1445 ALACHUA, FL 32616	03934-000-000 GREEN HILL OF ALACHUA INC PO BOX 1445 ALACHUA, FL 32616

03956-010-018
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616

03956-010-019
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616

03956-010-038
OWNERS ASSOCIATION INC
PROGRESS CENTER PROPERTY
BOX 35
ALACHUA, FL 32615

03956-011-000
TRUST SNH MEDICAL OFFICE
PROPERTIES
255 WASHINGTON ST STE 300
NEWTON, MA 02458

92060-517-900
CSX TRANSPORTATION INC
500 WATER ST
JACKSONVILLE, FL 32202-4423

ANTOINETTE ENDELICATO
5562 NW 93RD AVENUE
GAINESVILLE, FL 32653

DAN RHINE
288 TURKEY CREEK
ALACHUA, FL 32615

BILL ATWATER
6017 NW 115TH PLACE
ALACHUA, FL 32615

TOM GORMAN
9210 NW 59TH STREET
ALACHUA, FL 32653

RICHARD GORMAN
5716 NW 93RD AVENUE
ALACHUA, FL 32653

PEGGY ARNOLD
410 TURKEY CREEK
ALACHUA, FL 32615

DAVID FOREST
23 TURKEY CREEK
ALACHUA, FL 32615

JOHN TINGUE
333 TURKEY CREEK
ALACHUA, FL 32615

PRESIDENT
TCMOA
1000 TURKEY CREEK
ALACHUA, FL 32615

LINDA DIXON, AICP
ASSISTANT DIRECTOR PLANNING
PO BOX 115050
GAINESVILLE, FL 32611

CRAIG PARENTEAU
FL DEPT OF ENV PROTECTION
4801 CAMP RANCH ROAD
GAINESVILLE, FL 32641

LAURA WILLIAMS
12416 NW 148TH AVENUE
ALACHUA, FL 32615

JEANNETTE HINSDALE
P.O. BOX 1156
ALACHUA, FL 32616



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MEMORANDUM

TO: Neighbors of Copeland Industrial Park PN 13-0178
FROM: Craig Brashier, AICP, Planning Project Manager
DATE: June 5, 2013
RE: Neighborhood Meeting Public Notice

Causseaux, Hewett, & Walpole, Inc. (CHW) will be holding a Neighborhood Meeting to discuss a proposed site plan on ±28 acres generally located in the Copeland Industrial Park, west of NW 126th Terrace and south of Rachael Boulevard. The proposed site consists of a portion of Alachua County Tax Parcel 03927-000-000 and the entirety of 03927-011-000. The proposed site is designated as Industrial on the Future Land Use Map and Light and Warehouse Industrial (ILW) on the Official Zoning Atlas. This is not a public hearing.

Date: Thursday, June 20, 2013

Time: 5:30 p.m.

Place: Alachua County Library – Alachua Branch
Meeting Room B
14913 NW 140th Street
Alachua, FL 32615

Contact: Craig Brashier, AICP
(352) 331-1976

This is not a public hearing. The purpose of the meeting is to inform neighboring property owners of the proposed site plan and to seek comments. We look forward to seeing you at the meeting.

G:\JOBS\2013\13-0178\NHWS\MAILOUT_13-0178_Site Plan.docx

**NANOTHERAPEUTICS SITE PLAN
NEIGHBORHOOD MEETING NOTES
JUNE 20, 2013, AT 5:30 PM
ALACHUA COUNTY LIBRARY, ALACHUA BRANCH**

Recorded and transcribed by Causseaux, Hewett, & Walpole, Inc. staff.

Project Representatives

Nanotherapeutics - Donnie Ellington, P.E.
Causseaux, Hewett, & Walpole, Inc. – Craig Brashier, AICP

Mr. Brashier delivered an informational PowerPoint presentation which contained information on Nanotherapeutics, workshop notification procedures, the City's approval process, Future Land Use and zoning designations, and the proposed site plan. Approximately 12 members of the public attended the meeting. Meeting attendees consisted of both neighboring business representatives and residential neighbors. The following bullet points outline the citizen's topics of discussion and questions.

- Citizens asked about site access and impacts to traffic on Rachael Boulevard. One residential neighbor stated concerns about existing traffic and increased traffic on portions of Rachael Boulevard to the east of the site.
 - Mr. Brashier stated that the site would have two (2) access points off the roadway that leads from NW 126th Terrace. NW 126th Terrace can either be accessed from Rachael Boulevard to the north or Research Drive and Technology Avenue that connect to Corporate Research Park to the east.
 - Mr. Brashier informed the meeting attendees that the traffic calculations for the application's concurrency analysis indicate there are more than 15,000 available trips on the impacted portion of US 441 and the proposed project will only generate about 330 AADT.
 - Mr. Brashier informed meeting attendees that the City of Alachua has secured funding to improve the existing access roadway leading to the site from NW 126th Terrace. Improvements will include reconstruction with curb, gutter, and sidewalks.
 - Mr. Ellington informed the citizens that additional roadway connections were also being planned and analyzed that might alleviate some of the traffic concerns in this area. One is a northerly connection from the access roadway to Rachael Boulevard. This will likely become a reality once funding is secured. On a larger scale, the potential for an east-west parkway to the south of the site is also being analyzed by the City of Alachua. Providing a connection to this east-west parkway will help alleviate existing traffic concerns in this area.
- One meeting attendee informed Mr. Ellington and Mr. Brashier about previous flooding in the area due to off-site drainage issues.
 - Since the flooding is not due to impacts from the proposed site plan, no additional mitigation will be required for the Nanotherapeutics project. This issue will likely be considered during the reconstruction of the existing access roadway.
- A Hunter Woods resident asked about buffering along the site's western boundary.

- Mr. Brashier informed the neighbor that a minimum 20' buffer will be provided along the western boundary of the site. This will be a Type D landscape buffer that is intended to be an opaque buffer at least six (6) feet in height. This buffer prevents visual contact between uses and creates a strong impression of total separation.
- This citizen also requested that Nanotherapeutics consider the inclusion of a privacy fence along this boundary instead of the aluminum picket fencing that will surround the entire site.
- Another residential neighbor asked about the height of the building.
 - Mr. Brashier stated that the current design height is approximately 40'.
- One meeting attendee asked where current Nanotherapeutics employees lived and whether or not new employees would likely live in the City of Alachua.
 - Mr. Ellington stated that he would need to do some additional research to get information on where current employees lived.

The meeting ended at approximately 6:30 p.m.

Nanotherapeutics Site Plan

Neighborhood Meeting
June 20, 2013



ips

AEI Affiliated
Engineers

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IMPROVING YOUR WORLD

Meeting Overview



The purpose of the neighborhood workshop:

- The City of Alachua requires Site Plan applicants to host a neighborhood meeting
- The meeting's purpose is to inform neighbors of the proposed development's nature and to get feedback early in the development process
- This meeting provides the applicant with an opportunity to address concerns prior to the application's submission



Public Notification




MEMORANDUM

TO: Neighborhood Meeting Public Notice

FROM: Craig Bashier, AICP, Planning Project Manager

DATE: June 5, 2013

RE: Neighborhood Meeting Public Notice

Commissioners, Howard & Associates, Inc. (CHW) will be holding a Neighborhood Meeting to discuss a proposed site plan for 428 acres generally located in the Copeland Industrial Park east of NW 126th Terrace and south of CR 2054 / Rachael Boulevard. The proposed site consists of a portion of Alachua County Tax Parcel 03927-000-000 and the entirety of 03927-011-000. The proposed site is designated as Industrial on the Future Land Use Map and Light and Warehouse Industrial (ILW) on the Official Zoning Map. This is not a public hearing.

Date: Thursday, June 20, 2013
Time: 5:30 p.m.
Meeting Location: Alachua Branch Meeting Room B, 14913 NW 140th Street, Alachua, FL 32615
Phone: 352-331-1976

This is a public notice for the purpose of providing information to the public. It is not a public hearing. For more information, please contact the Planning Project Manager at the address above.

Students charged with selling guns at school

State assesses if will offer teacher resolution at schools

Lighting shows SCUM's strategy for school security

Lighting shows SCUM's strategy for school security

Lighting shows SCUM's strategy for school security

Public Notice

A Neighborhood Meeting will be held to discuss a proposed site plan on 428 acres generally located in the Copeland Industrial Park, east of NW 126th Terrace and south of CR 2054 / Rachael Boulevard. The proposed site consists of a portion of Alachua County Tax Parcel 03927-000-000 and the entirety of 03927-011-000. The proposed site is designated as Industrial on the Future Land Use Map and Light and Warehouse Industrial (ILW) on the Official Zoning Map. This is not a public hearing.

The meeting's purpose is to inform neighboring property owners of the proposed site plan and to seek their comments.

The meeting is Thursday, June 20th, at 5:30 p.m. at the Alachua County Library – Alachua Branch, Meeting Room B, 14913 NW 140th Street, Alachua, FL 32615.

Contact: Craig Bashier, AICP
Phone Number: (352) 331-1976

Lighting shows SCUM's strategy for school security

Lighting shows SCUM's strategy for school security

Lighting shows SCUM's strategy for school security

civil engineering
land surveying
land planning
construction engineering inspection

Site Plan Review Process




```

graph TD
    A[Pre-application Conference] --> B[Neighborhood Meeting (Mandatory)]
    B --> C{Submit Application}
    C --> D[Determination of Completeness]
    D --> E[Staff Review]
    E --> F[Schedule Hearing]
    F --> G[Schedule Public Notification]
    G --> H[Staff Report]
    H --> I[Planning and Zoning Board Public Hearing/ Recommendation (greater than 80,000 square feet) or Decision (less than 80,000 square feet)]
    I --> J[City Commission Public Hearing/ Decision (greater than 80,000 square feet)]
    J --> K[Site Plan]
    
```

May (Pre-application Conference)

We Are Here (Neighborhood Meeting (Mandatory))

June 27th (Submit Application)

July-August (Staff Review, Schedule Hearing, Schedule Public Notification, Staff Report)

September (Planning and Zoning Board Public Hearing/ Recommendation, City Commission Public Hearing/ Decision)

Process Ends (Site Plan)

civil engineering
land surveying
land planning
construction engineering inspection

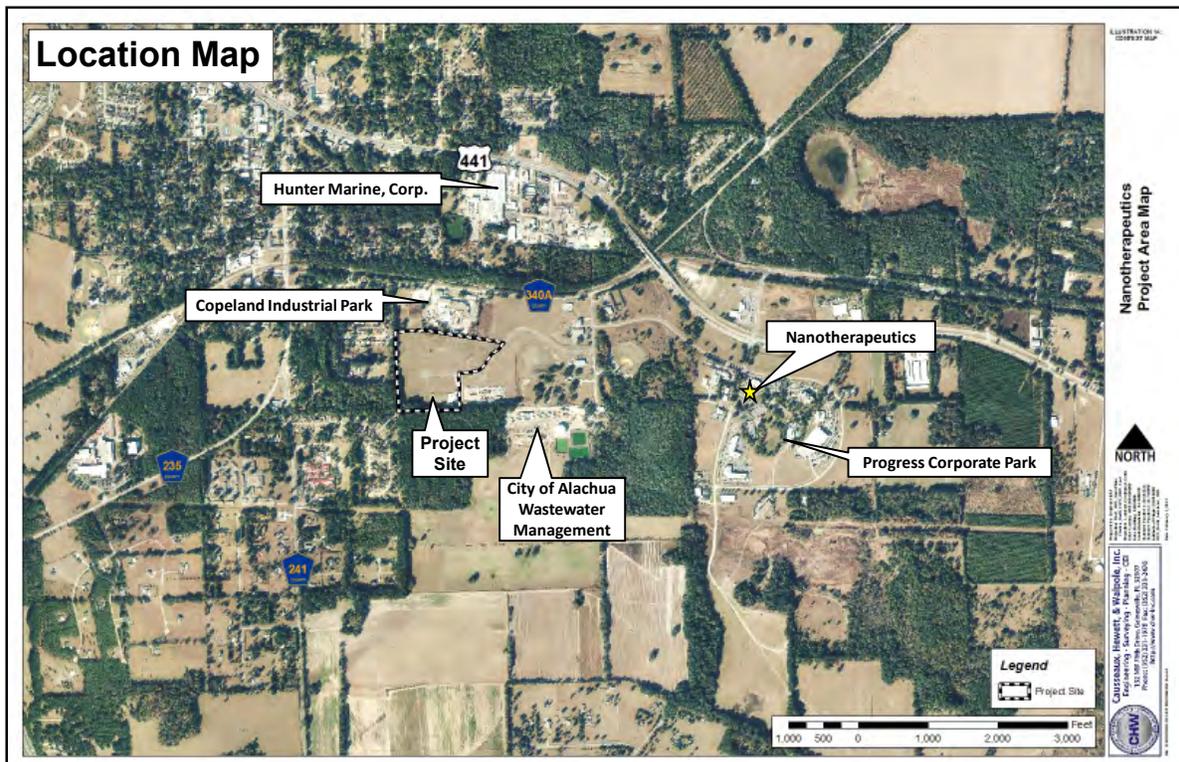
Nanotherapeutics, Inc.

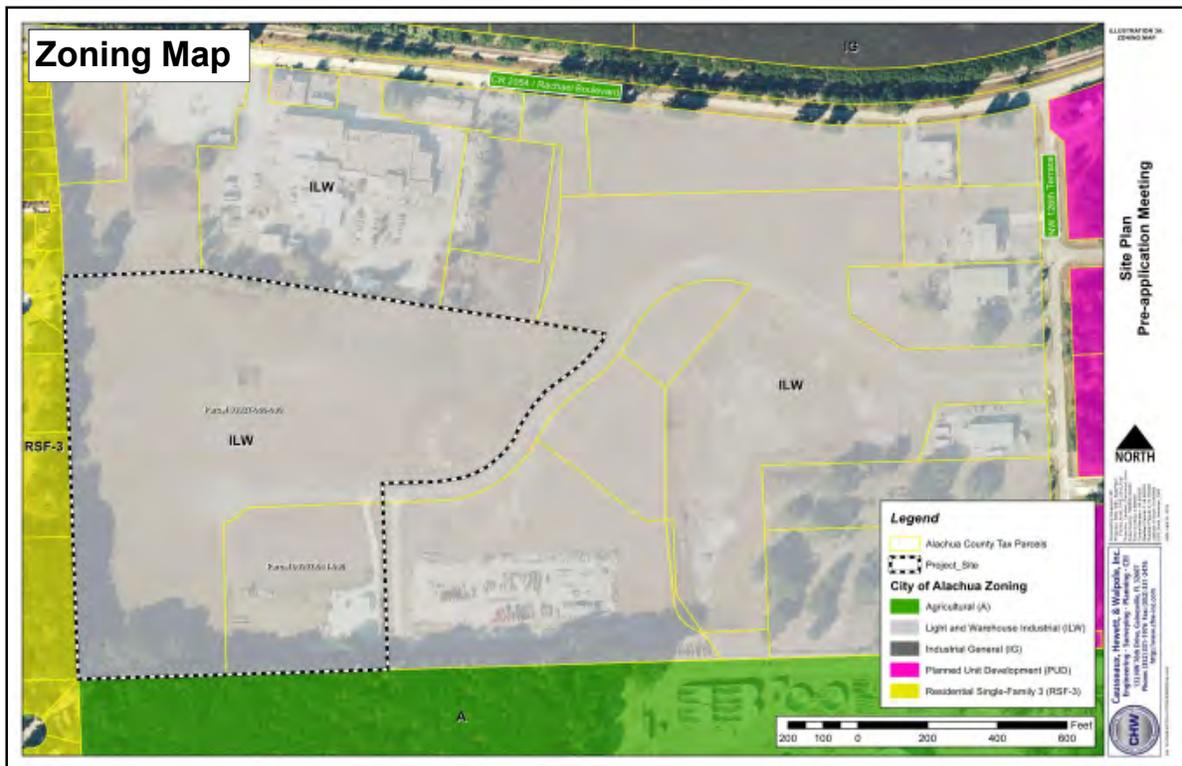


- **Nanotherapeutics is a privately-held biopharmaceutical company.**
- **They have been located in the City of Alachua for 14 years.**
- **The company's recent focus has been on meeting the U.S. Government's interests to develop safe, effective medical countermeasures to protect America's troops.**
- **Nanotherapeutics was awarded a contract from the U.S. Department of Defense.**



civil engineering land surveying land planning construction engineering inspection





Zoning Verification





City of Alachua

Public Works Department
Administrative Services/ITP

January 12, 2012

City Commission/ITP
Cassiano, Hewitt, & Walpole, Inc.
301 E. NW 17th Place

The purpose of this memorandum is to determine if your memorandum of January 11, 2012, satisfies the definition of Light Manufacturing, which is a permitted use in the ILW zoning district.

The City of Alachua Land Development Regulations (LDR) also state that the use proposed meets the zoning district. Light Manufacturing is a use type of Light Manufacturing which is defined in Article 12 of the Code as "light industrial operations of professionally previously prepared materials into semi-finished building materials and the creation of products for use in the construction of buildings from floor-to-ceiling components. Light manufacturing operations include, but are not limited to, the production of aluminum pipe and electronic and do not include rubber stamp, printing, screen printing, book, photo, video, or electronic equipment."

Based upon your memorandum of January 11, 2012, and the provisions of the City's Comprehensive Plan and Land Development Regulations, the proposed use meets the definition of a "Light Manufacturing," which is a permitted use in the ILW zoning district.

The proposed project currently has a State Land Use Plan (SLUP) designation of ILW (Light Industrial) zoning district.

The ILW zoning district is located in the City of Alachua and is generally intended for light industrial uses, such as manufacturing, assembly, and technology-related facilities. The City of Alachua Land Development Regulations (LDR) also state that the use proposed meets the zoning district.

The ILW zoning district is defined in Article 12 of the Code as "light industrial operations of professionally previously prepared materials into semi-finished building materials and the creation of products for use in the construction of buildings from floor-to-ceiling components. Light manufacturing operations include, but are not limited to, the production of aluminum pipe and electronic and do not include rubber stamp, printing, screen printing, book, photo, video, or electronic equipment."

Use	2012 SLUP	2012 Zoning	2012 Density	2012 Height
Light Industrial	ILW	ILW	1.0	35
Manufacturing	M	M	1.0	35

Light Manufacturing and Necessary Utilities

Based upon your memorandum of January 11, 2012, and the provisions of the City's Comprehensive Plan and Land Development Regulations, the proposed use meets the definition of "Light Manufacturing," which is a permitted use in the ILW zoning district.

If you have any questions, please call me at 904-331-4100 x100.

Kathy Whitson
Kathy Whitson, AICP
Planning Director

cc: Tracy Cobb, City Manager

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Project Details



- Initial development will be a $\pm 153,000$ sq. ft. building
- Expansion plans up to $\pm 265,000$ sq. ft.
- The new facility will create approximately 150 jobs with an average annual salary of \$90,000



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Nanotherapeutics Site Plan

Neighborhood Meeting
June 20, 2013



SIGN-IN SHEET

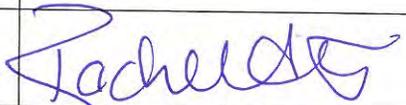
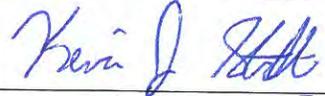
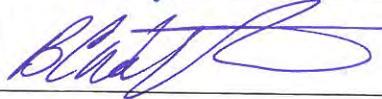
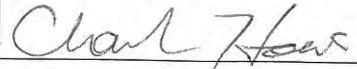
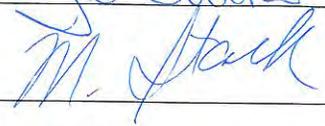
Event: Neighborhood Workshop

Date: Thursday, June 20, 2013

Time: 5:30 pm

Place: Alachua County Library –
Alachua Branch, Meeting Room B,
14913 NW 140th Street, Alachua, Florida 32615

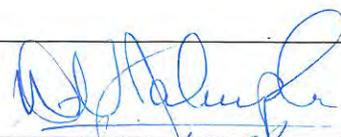
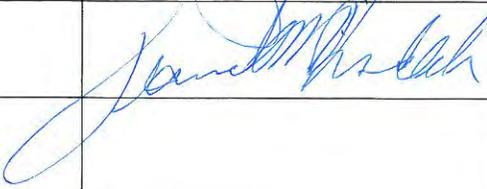
RE: Magnolia Parke Planned Development (PD)

<u>No.</u>	<u>Print Name</u>	<u>Street Address</u>	<u>Signature</u>
1	RACHEL ALTY	Rachael Blvd Alachua, 32615	
2	Kevin Strattan	14120 NW 126 th Terrace	
3	CHARLES WORTHINGTON	13900 NW 126 TERR ALACHUA	
4	Cathy Bishop	13530 NW 137 Place Alachua FL 32615	
5	Radi AWARTANI	12775 Rachael Blvd Alachua, FL 32615	
6	CHARLES HOWE	12895 Hwy 441 ALACHUA	
7	glo Dunkee	14312 NW. 107 th Terr	
8	M. Stack	11010 Sage Blvd	
9	Dexter A. Osteen	16702 n.w CR241	

AVERY ROBERTS ST. RD 100 LAKE BUTTE



copy 10/1

10	DAVID JAKUPKO	POB 1445 ALACHUA	
11	Jeannette M Hensdale	POB 1156 Alachua	
12			
13			
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15			
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MIAMI — Florida is moving ahead with a plan to offer kosher meals in all state prisons by the end of the year, a correctional official testified at a hearing Tuesday on a U.S. Justice Department lawsuit demanding such a program.

James Upchurch, assistant Department of Corrections secretary for institutions, said food following the strict Jewish dietary rules would be served beginning in July at the 2,000-inmate Union Correctional Institution in North Florida and then would expand through the fall to 60 facilities across the state.

"We will make the policy work," Upchurch told U.S. District Judge Patricia Seitz at the hearing. "When you run a prison, there are security problems with everything you do. We don't see any that are insurmountable at this point."

Florida previously offered kosher meals at selected prisons for three years until 2007, then began a pilot

program at a South Florida prison in 2010. The Justice Department's Civil Rights Division filed a federal lawsuit last year demanding that the state be required to offer kosher food at all prisons.

A Tucson Department lawyer, Michael Souger, said that despite the state's assurances, the U.S. wants the judge to issue a kosher food order so that the policy couldn't simply be changed in the future. Kosher diets and other resists of religious faith are protected for prisoners by the 2005 Religious Land Use and Institutionalized Persons Act, he said.

"The state is not willing to abide an enduring commitment to providing kosher meals," Souger said. "We believe Florida has been reinvigorated provide kosher meals in violation of the law for years."

The judge did not immediately issue a ruling, but did order the institution seeking to join the case so they can get halal or kosher meals in prison. Seitz said Florida and the

U.S. should be permitted to respond to that motion in writing before the trial.

The hearing follows a decision last month by the 11th U.S. Circuit Court of Appeals reinstating a separate kosher meal lawsuit filed by Bruck Kocher, an Orthodox Jew and convicted murderer serving a life sentence at the Union prison. The appeals court said a federal judge should determine if the state's new kosher plan will resolve Koch's complaints in his lawsuit, Upchurch said.

The previous kosher program caused several problems, including inmates who failed Jewish fasts to transfer to one of the 13 prisons that offered the meals. Some did so to be closer to home, while others claimed to be ill so they could hand together an gang. There were also issues with kosher items being smuggled in the kitchen meals.

John L. Clark, a former top administrator at the U.S. Bureau of Prisons, said the federal system has offered kosher meals nationwide since 1980.

SETTLEMENT: Habitat for Humanity was among recipients of settlement money

Continued from B1

barrage of criticism over the last two years. Board, for example, was skeptical back in 2011 of reaching any settlement with banks that would force them to lower the amount owed by homeowners. Her office was criticized for dismissing two attorneys who were leading foreclosure fraud investigations. Board did finally sign off on the national settlement resolved last year, but then quickly tucked for months with legislation over who would control some \$334 million going directly to state government. Legislators insisted that they should have some say in how the money was spent.

The final agreement resulted in the money being broken up in two main parts. Back in January a legislative budget passed signed off spending \$69 million that went to counseling with homeowners dealing with

foreclosure and money to help first-time homebuyers with down payment assistance.

The bill signed Tuesday by Scott spends the money that was left. There's cash for several programs run by the Florida Housing Finance Corp. and some of it is targeted for rental payment assistance to the elderly and grants to provide housing for the homeless.

The measure also calls for spending money on housing for citizens with developmental disabilities as well as rehabilitating homes in blighted neighborhoods. Other parts give money to Habitat for Humanity and purchase down payment assistance for low-income students planning on attending college.

The large amounts of money coming from the settlement gave legislators a chance to get some money for affordable housing while passing a state budget that directed money that normally goes to cover

of the same programs.

Back in January, House Speaker Will Weatherford said there was "no intention to do a bait and switch" and use the settlement money in place of existing state funding. The amount of money diverted from housing trust funds was \$203 million.

"We are not going to be spending this money, you know, on members' favorite projects that have nothing to do with the crisis," Weatherford said at the time. "The idea is to focus the resources on the people with the greatest need."

A spokesman for Weatherford defended the final budget decision. Ryan Duffy pointed out that legislators have diverted much of the trust fund money — which comes from a tax charged on real estate transactions — to last five years.

Duffy said that the amount spent on affordable housing programs was much larger this year due to the settlement.

TRANSPORTATION: County has \$550M road repair backlog

Continued from B1

Commissioner Mike Evers said he strongly supports allowing city governments to determine how to use their share of the tax money without county interference. The Gainesville City Commission opposed the 2012 referendum after city commissioners cited concerns that the County Commission had abandoned a 1-cent proposal that would have helped fund but rapid transit in favor of a three-quarter-cent roads-only plan.

Evers emphasized the need for the new referendum to fund a blend of roads, transit and other transportation projects if it was any hope of gaining the support of the median-poorer or the voting public.

James Thompson of the Gainesville Cycling Club addressed the importance of using a portion of the transportation sales tax revenue

the tax, he said, although Thompson promised to emphasize the benefits that repairing roads have for the bicycle and pedestrian community.

Commissioner Charles "Chuck" Chestnut IV questioned whether a transportation initiative could succeed in 2014 due to the economy as well as the continued halting over roads versus transit.

"I see it as two groups of citizens with two different visions as one community," he said. One asks roads rebuilding and addressing the \$330 million community backlog in road repairs as the primary priority, while others want to concentrate on transit improvements.

Even if it does pass in 2014 and the government gets the money it requires to reduce that backlog, Chestnut said the county must develop a pavement management system to continue addressing road

"Unfortunately, this can be a divisive issue, but we don't need to be a divided people," he said.

Despite the persistence of the road vs. transit debate, it was clear from the recent survey that road repair remains the biggest issue for citizens.

Transportation Planning Manager Jeff Elyza shared three word clouds that listed off the words that appeared most often in the responses to a few key questions on how to improve the county's transportation system. The larger the word, the more often it appeared in survey responses.

"ROADS" stretched across the center of a word cloud in bold black letters that represented this question: "What are the most important steps that you believe need to happen now to begin building that transportation system in Alachua

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PUBLIC NOTICE

A Neighborhood Meeting will be held to discuss a proposed site plan on 2.28 acres generally located in the Copeland Industrial Park, west of NW 128th Terrace and south of Festival Boulevard. The proposed site consists of a portion of Alachua County, Tax Parcel 03827-000-000 and the entirety of 03827-011-001. The proposed site is designated as Industrial on the Future Land Use Map and Light and Warehouse Industrial (LW) on the Official Zoning Atlas. This is not a public hearing.

This meeting's purpose is to inform neighboring property owners of the proposed site plan and to seek their comments.

The meeting is Thursday, June 20th, at 5:30 p.m. at the Alachua County Library - Alachua Branch, Meeting Room B, 14913 NW 140th Street, Alachua, FL 32815.

Contact:
Craig Brantley, AICP

Phone Number:
(352) 331-1876



Dr. Robert Johnson, Optometrist

Announces the relocation of his practice from

1132 NW 76th Blvd.
Gainesville, FL 32606

to

3720 NW 13th Street, Suite 12
Gainesville, FL 32609

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Dr. Andrew Brown MD
Dr. David C. Ellis MD
Dr. Edward Manning MD
Dr. John Johnson MD
Dr. Joseph M. Ward MD
Dr. Paul W. Smith MD
Dr. Robert M. Smith MD
Dr. Robert M. Smith MD
Dr. Robert M. Smith MD



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2012 Roll Details — Real Estate Account #03927 000 000

Real Estate Account #03927 000 000

Parcel details

Full bill history

2012	2011	2010	2009	...	2002
Paid	Paid	Paid	Paid		Paid

Get Bills by Email

Owner: ADC DEVELOPMENT & INVESTMENT
 GROUP LLC
 PO BOX 238
 LAKE BUTLER, FL 32054
 Situs: (unknown)

Account number: **03927 000 000**
 Alternate Key: 1014062
 Millage code: 1700
 Millage rate: 24.7857

Assessed value: 18,600
 School assessed value: 18,600

Location is not guaranteed to be accurate.

Property Appraiser

- GIS

2012 annual bill

Ad valorem:
 Non-ad valorem:
 Total tax:

View

\$461.02
 \$98.74

Legal description

NW1/4 OF NE1/4 & NE1/4 OF NW1/4
 OR 1293/893 (LESS ELY 40 FT R/W
 PER OR 1261/102) (LESS OR
 1559/2388) (LESS OR 2044/2959)
 (LESS OR 2296/1975) (LESS THAT
 PT OF OR 2330/1452) (LESS THAT
 PT OF OR 2340/1962) (LESS COM SE
 COR OF NW 1/4 OF NE 1/4 W

Location

Book, page, item: --
 Geo number: 23-08-18-
 03927000000
 Range: 18
 Township: 08
 Section: 23

Paid 2012-12-03 \$537.37
Effective 2012-11-30
Receipt #12-0045962



[Tax Collector Home](#) [Search](#) [Reports](#) [Shopping Cart](#)

2012 Roll Details — Real Estate Account #03927 011 000

Real Estate Account #03927 011 000

[Parcel details](#)

[Full bill history](#)

2012	2011	2010	2009
Paid	Paid	Paid	Paid

[Get Bills by Email](#)

Owner: SPEAR COPELAND LLC
 2225 NW 66TH CT
 GAINESVILLE, FL 32653
 Situs: (unknown)

Account number: **03927 011 000**
 Alternate Key: 1014074
 Millage code: 1700
 Millage rate: 24.7857

Assessed value: 89,300
 School assessed value: 89,300

Location is not guaranteed to be accurate.

[Property Appraiser - GIS](#)

2012 annual bill	View	Legal description	Location
Ad valorem: \$2,213.38		COM SE COR OF NW1/4 OF NE1/4 S 88 DEG 59 MIN 32 SEC W 40 FT S 89 DEG 09 MIN 48 SEC W 1280.55 FT S 88 DEG 56 MIN 13 SEC W 640.56 FT POB S 88 DEG 56 MIN 13 SEC W 455.13 FT N 01 DEG 03 MIN 47 SEC W 437.29 FT NELY ALG CURVE 55.93 FT NELY ALG CURVE	Book, page, item: --
Non-ad valorem: \$0.00			Geo number: 23-08-18- 03927011000
Total tax:			Range: 18
Paid 2013-07-18 \$2,572.67			Township: 08
Receipt #12-0172630			Section: 23

Certificate #1065

This parcel has a redeemed certificate for 2012.

Advertised number: 1211
 Face amount: \$2,444.21
 Issued date: 06/01/2013
 Buyer: Bidder number 927835
 AKPH LLC AND OCEAN BANK
 780 NW LEJEUNE ROAD, SUITE 300, C/O IVAN CASTANEDA
 MIAMI, FL 33126
 Interest rate: 0.25%

Interest rate: 0.25%



[Tax Collector Home](#) [Search](#) [Reports](#) [Shopping Cart](#)

2012 Roll Details — Real Estate Account #03927 000 000

Real Estate Account #03927 000 000

[Parcel details](#)

[Full bill history](#)

- 2012
Paid
- 2011
Paid
- 2010
Paid
- 2009
Paid
- ...
- 2002
Paid

[Get Bills by Email](#)

Owner: ADC DEVELOPMENT & INVESTMENT
 GROUP LLC
 PO BOX 238
 LAKE BUTLER, FL 32054
 Situs: (unknown)

Account number: **03927 000 000**
 Alternate Key: 1014062
 Millage code: 1700
 Millage rate: 24.7857

Assessed value: 18,600
 School assessed value: 18,600

Location is not guaranteed to be accurate.

[Property Appraiser- GIS](#)

2012 annual bill

Ad valorem: \$461.02
 Non-ad valorem: \$98.74
 Total tax:
Paid 2012-12-03 \$537.37
Effective 2012-11-30
Receipt #12-0045962

[View](#)

Legal description

NW1/4 OF NE1/4 & NE1/4 OF NW1/4
 OR 1293/893 (LESS ELY 40 FT R/W
 PER OR 1261/102) (LESS OR
 1559/2388) (LESS OR 2044/2959)
 (LESS OR 2296/1975) (LESS THAT
 PT OF OR 2330/1452) (LESS THAT
 PT OF OR 2340/1962) (LESS COM SE
 COR OF NW 1/4 OF NE 1/4 W

Location



Book, page, item: --
 Geo number: 23-08-18-
 03927000000
 Range: 18
 Township: 08
 Section: 23



[Tax Collector Home](#) [Search](#) [Reports](#) [Shopping Cart](#)

2012 Roll Details — Real Estate Account #03927 011 000

Real Estate Account #03927 011 000

[Parcel details](#)

[Full bill history](#)

2012	2011	2010	2009
\$2,572.67 due	Paid	Paid	Paid

[Get Bills by Email](#)

Owner: SPEAR COPELAND LLC
 2225 NW 66TH CT
 GAINESVILLE, FL 32653
 Situs: (unknown)

Account number: **03927 011 000**
 Alternate Key: 1014074
 Millage code: 1700
 Millage rate: 24.7857

Assessed value: 89,300
 School assessed value: 89,300

Location is not guaranteed to be accurate.

[Property Appraiser- GIS](#)

2012 annual bill

[View](#)

Legal description

Location

Ad valorem: **\$2,213.38**
 Non-ad valorem: **\$0.00**
 Total tax:

COM SE COR OF NW1/4 OF NE1/4 S
 88 DEG 59 MIN 32 SEC W 40 FT S
 89 DEG 09 MIN 48 SEC W 1280.55
 FT S 88 DEG 56 MIN 13 SEC W
 640.56 FT POB S 88 DEG 56 MIN 13
 SEC W 455.13 FT N 01 DEG 03 MIN
 47 SEC W 437.29 FT NELY ALG
 CURVE 55.93 FT NELY ALG CURVE



Book, page, item: --
 Geo number: 23-08-18-
 03927011000
 Range: 18
 Township: 08
 Section: 23

Pay this bill: \$2,572.67

Certificate #1065

This parcel has an issued certificate for 2012.

Advertised number: 1211
 Face amount: \$2,444.21
 Issued date: 06/01/2013
 Buyer: Bidder number 927835
 AKPH LLC AND OCEAN BANK
 780 NW LEJEUNE ROAD, SUITE 300, C/O IVAN CASTANEDA
 MIAMI, FL 33126
 Interest rate: 0.25%

AFFIDAVIT FOR POSTED LAND USE SIGN

I Robert J. Walpole, POSTED THE LAND USE
SIGN ON 9/11/13 FOR THE Nanotherapeutics, Inc. - Site Plan - City Commission
(name) (date) (state type of action and project name) Hearing
LAND USE ACTION.

AS PER ARTICLE 2.2.9 D OF THE LAND DEVELOPMENT REGULATIONS.

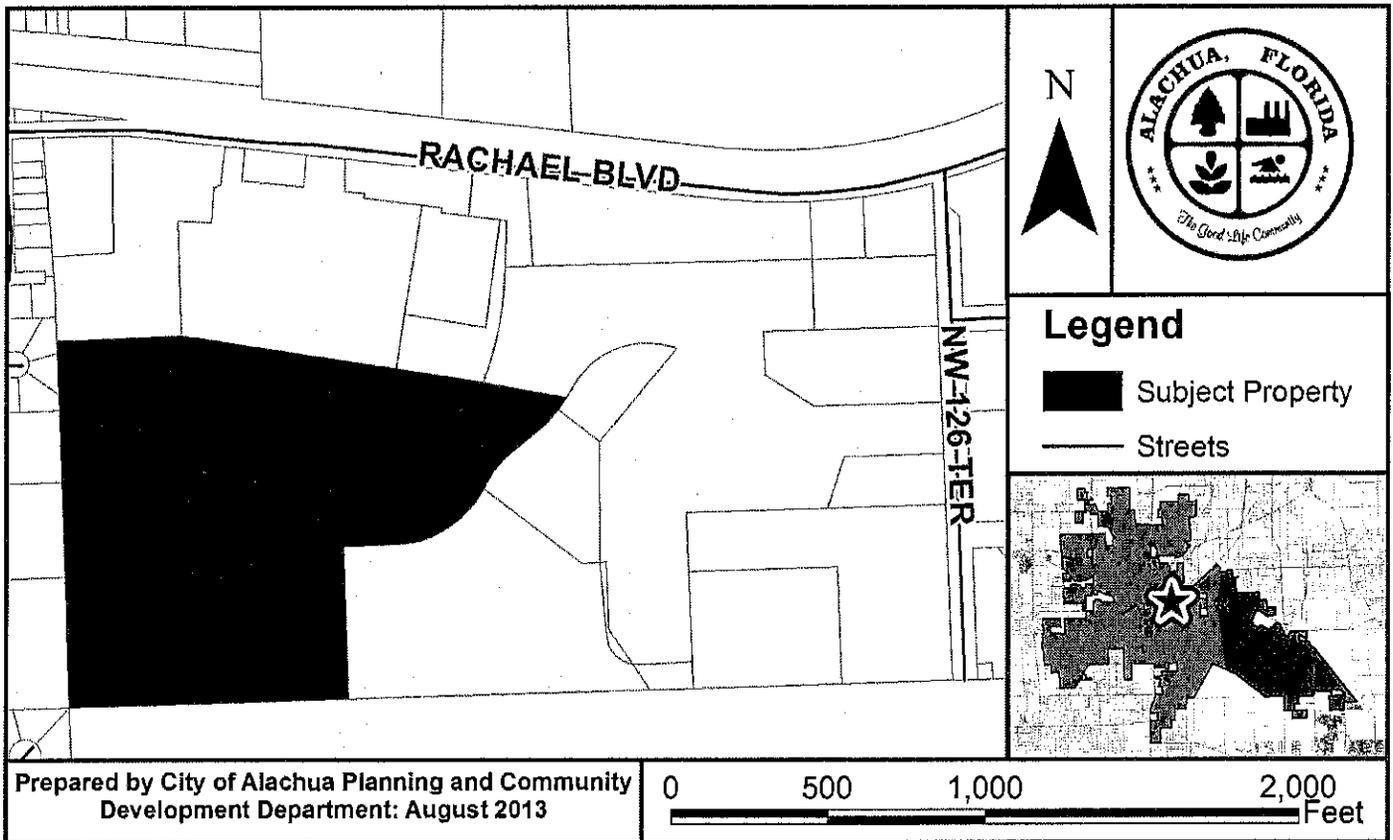
THIS WILL BE INCLUDED IN THE STAFF REPORT.


(signature)

Six (6)
(number of signs)

NOTICE OF PUBLIC HEARING BEFORE THE CITY COMMISSION OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the City Commission of the City of Alachua will hold a public hearing on September 23, 2013 at 6:30 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located at 15100 NW 142nd Terrace, Alachua, Florida, to consider the following: A request by Causseaux, Hewett, & Walpole, Inc., agent for Nanotherapeutics, Inc., applicant, and ADC Development & Investment Group, LLC and Spear Copeland, LLC, property owners, for consideration of a Site Plan for a proposed ±165,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements on a ±28.07 acre subject property, located west of NW 126th Terrace and south of County Road 2054 (Rachael Boulevard) within Copeland Industrial Park; Tax Parcel No. 03927-000-011-000 and a portion of Tax Parcel No. 03927-000-000; FLUM: Industrial; Zoning: Light and Warehouse Industrial (ILW.)



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 101 at least 48 hours prior to the public hearing.

03229-002-000
THE CHRISTOPHER CORPORATION
PO BOX 1000
ALACHUA, FL 32616

03229-003-000
PHOENIX COMMERCIAL PARK
PO BOX 1000
ALACHUA, FL 32616

03230-002-000
GROUP LLC ADC DEVELOPMENT &
INVESTMENT
PO BOX 238
LAKE BUTLER, FL 32054

03230-002-001
PETRA HOLDINGS COMPANY LLC
12775 RACHEL BLVD
ALACHUA, FL 32615-6698

03231-001-000
INC BARBER LUMBER SALES OF
ALACHUA
PO BOX 263
ALACHUA, FL 32616-0263

03231-002-000
GLENN-BLUMBERG
11421 NW 120TH TER
ALACHUA, FL 32615

03231-004-000
DUAL ENTERPRISES LLC
PO BOX 1808
ALACHUA, FL 32616

03231-005-000
GROUP LLC ADC DEVELOPMENT &
INVESTMENT
PO BOX 238
LAKE BUTLER, FL 32054

03231-005-001
RBC BANK
301 FAYETTEVILLE ST STE 1200
RALEIGH, NC 27601

03507-001-000
SAKICHAND DALCHAND
10304 W STATE ROAD 235
ALACHUA, FL 32615-4942

03508-001-000
JOHNNIE LEE BROWN
PO BOX 213
ALACHUA, FL 32616-0213

03511-000-000
CHRISTINE F HOWARD
PO BOX 913
ALACHUA, FL 32616-0913

03516-000-000
CAROLYN L HEIRS WALLACE
6003 WABASH RD
ORLANDO, FL 32807

03517-000-000
BARBARY & SIMMONS
PO BOX 812
ALACHUA, FL 32616-0812

03518-001-000
FLORA M BRYANT
PO BOX 556
ALACHUA, FL 32616-0556

03518-002-000
PERNOLA G BARBARY
PO BOX 812
ALACHUA, FL 32616-0812

03934-001-020
JENKINS ALLEN & ALLEN &
FREENEY &
12008 NW 148TH PL
ALACHUA, FL 32615

03934-001-021
SHENITTA L DANIELS
PO BOX 1558
ALACHUA, FL 32616-1558

03934-001-022
CORINE C LIFE ESTATE
BROCKINGTON
PO BOX 122
LACROSSE, FL 32658

03934-001-023
ENLOE & MAMMINO
14293 NW 159TH LN
ALACHUA, FL 32615

03934-001-024
FRANCES T YOUNG
PO BOX 1633
ALACHUA, FL 32616-1633

03934-001-025
SHANTAN K GEORGE
13613 NW 141ST PL
ALACHUA, FL 32615

03934-001-026
KEEGAN D GAY
13617 NW 141ST PL
ALACHUA, FL 32615

03934-002-000
CHARLOTTE ELIZABETH LIFE EST
HAGAN
14013 NW 138TH ST
ALACHUA, FL 32615

03934-003-000
JAMES CASEY JONES & JONES &
JONES
PO BOX 373
ALACHUA, FL 32616-0373

03934-001-014
VERONICA GRAHAM
PO BOX 2304
ALACHUA, FL 32615

03934-001-015
ARCHIE-BOTHNER ARCHIE &
ARCHIE & ARCHIE &
13612 NW 141ST PL
ALACHUA, FL 32615

03934-001-016
LOIS BIRENBAUM & NORWITZ
25414 NW COOUNTY RD 241
ALACHUA, FL 32615

03934-001-017
LIZA J VILLALOBOS
13528 NW 141ST PL
ALACHUA, FL 32616

03934-001-018
BETTY HEIRS HODGE
13514 NW 141ST PL
ALACHUA, FL 32615

03934-001-019 H/W JENKINS & MCDANIEL-JENKINS 13510 NW 141ST PL ALACHUA, FL 32616	03927-007-001 GROUP LLC ADC DEVELOPMENT & INVESTMENT PO BOX 238 LAKE BUTLER, FL 32054	03927-008-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601
03927-009-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601	03927-010-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601	03927-011-000 SPEAR COPELAND LLC 2225 NW 66TH CT GAINESVILLE, FL 32653
03931-010-012 ANGELA FORD 13604 NW 137TH PL ALACHUA, FL 32615	03931-010-013 BRUCE D JOHNSON 13558 NW 137TH PL GAINESVILLE, FL 32615	03931-010-014 LESLIE & POURCHOT-LESLIE H/W 17763 NW 105TH TER ALACHUA, FL 32615-5610
03931-010-015 DAVID S BISHOP 13530 NW 137TH PL ALACHUA, FL 32615-6200	03931-010-016 GEORGIA A GRIFFIN 13510 NW 137TH PL ALACHUA, FL 32615	03931-010-017 CAROLYN A MITCHELL 13505 NW 137TH PL ALACHUA, FL 32615
03931-010-018 PERCIVAL I FRANCIS 13521 NW 137TH PL ALACHUA, FL 32615	03931-010-019 VINTRICE VERONICA REINKE 13533 NW 137TH PL ALACHUA, FL 32615	03927-000-000 GROUP LLC ADC DEVELOPMENT & INVESTMENT PO BOX 238 LAKE BUTLER, FL 32054
03927-001-000 DAMON NANOSONIC PRODUCTS INC 27317 NW 78TH AVE HIGH SPRINGS, FL 32643	03927-002-000 KOOZ PROPERTIES LLC 2815 NW 13TH ST STE 423 GAINESVILLE, FL 32609	03927-003-000 KOOZ PROPERTIES LLC 2815 NW 13TH ST STE 423 GAINESVILLE, FL 32609
03927-004-000 BB&C LLC 14000 NW 126TH TER ALACHUA, FL 32615	03927-005-000 CV II PARTNERSHIP 4656 34TH ST SOUTHWEST ORLANDO, FL 32811	03927-006-000 ALACHUA INC BARBER LUMBER SALES OF PO BOX 263 ALACHUA, FL 32616-0263
03927-007-000 O'STEEN BROTHERS INC 1006 SE 4TH ST GAINESVILLE, FL 32601	03929-001-000 CITY OF ALACHUA PO BOX 9 ALACHUA, FL 32616-0009	03934-001-001 NOLA L TOUCHE 13515 NW 142ND AVE ALACHUA, FL 32615
03934-001-002 JIMMY L WALKER 13521 NW 142ND AVE ALACHUA, FL 32615	03934-001-003 LENORA CAFFIE PO BOX 1441 ALACHUA, FL 32616-1441	03934-001-004 WAYNE P PORTER PO BOX 913 ALACHUA, FL 32616-0913
03956-010-004 STATE OF FLA IIF % DEP-3900 COMMONWEALTH BLVD TALLAHASSEE, FL 32399	03933-000-000 GREEN HILL OF ALACHUA INC PO BOX 1445 ALACHUA, FL 32616	03934-000-000 GREEN HILL OF ALACHUA INC PO BOX 1445 ALACHUA, FL 32616

03956-010-018
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616

03956-010-019
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616

03956-010-038
OWNERS ASSOCIATION INC
PROGRESS CENTER PROPERTY
BOX 35
ALACHUA, FL 32615

03956-011-000
~~TRUST-SNH-MEDICAL OFFICE~~
PROPERTIES
255 WASHINGTON ST STE 300
NEWTON, MA 02458

92060-517-900
CSX TRANSPORTATION INC
500 WATER ST
JACKSONVILLE, FL 32202-4423

ANTOINETTE ENDELICATO
5562 NW 93RD AVENUE
GAINESVILLE, FL 32653

DAN RHINE
288 TURKEY CREEK
ALACHUA, FL 32615

BILL ATWATER
6017 NW 115TH PLACE
ALACHUA, FL 32615

TOM GORMAN
9210 NW 59TH STREET
ALACHUA, FL 32653

RICHARD GORMAN
5716 NW 93RD AVENUE
ALACHUA, FL 32653

PEGGY ARNOLD
410 TURKEY CREEK
ALACHUA, FL 32615

DAVID FOREST
23 TURKEY CREEK
ALACHUA, FL 32615

JOHN TINGUE
333 TURKEY CREEK
ALACHUA, FL 32615

PRESIDENT
TCMOA
1000 TURKEY CREEK
ALACHUA, FL 32615

LINDA DIXON, AICP
ASSISTANT DIRECTOR PLANNING
PO BOX 115050
GAINESVILLE, FL 32611

CRAIG PARENTEAU
FL DEPT OF ENV PROTECTION
4801 CAMP RANCH ROAD
GAINESVILLE, FL 32641

LAURA WILLIAMS
12416 NW 148TH AVENUE
ALACHUA, FL 32615

JEANNETTE HINSDALE
P.O. BOX 1156
ALACHUA, FL 32616

Lynn Coullias
7406 NW 126th Ave
Alachua, FL 32615

Lynda Coon
7216 NW 126th Ave
Alachua, FL 32615

a/s/13
MH

Students & Senior Discounts
 Network & Business Solutions
Alachua, Florida
66

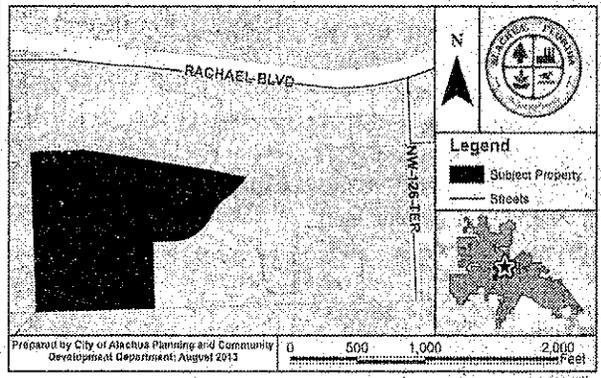


462-3355
 1404 Main Street,
 Alachua, Florida

construction includes an addition to enhance the public's accessibility to the fire station as well as adding office space.

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(Published: Alachua County Today - Sept. 12, 2013)

DEPOSIT CHECKS WITH MOBILE DEPOSIT AT CAPITAL CITY BANK CCBG.COM/MOBILEDEPOSIT



ENHANCE YOUR MOBILE BANKING EXPERIENCE with Capital City Bank Mobile Deposit – a new, free* app for making quick, secure deposits on our Capital City accounts. Download the CCBMobile Deposit app and get it today at ccbg.com/mobiledeposit.

Available on the iPhone **App Store** | Get it at **BlackBerry App World** | **Google play**

15000 NW 140th St. | Alachua | 386.418.6000
 1000 NE Santa Fe Blvd. | High Springs | 386.454.6000
 4202 W. Newberry Rd. | Newberry | 352.472.9950



Capital City Bank
 More than your bank. Your banker.

MEMBER FDIC *Requires a Capital City Bank deposit account and is subject to approval. Capital City Bank does not guarantee the use of CCBMobile Deposit at this time. Fees charged by mobile service provider may apply and are the responsibility of the user. Ask a banker for details.

Nanotherapeutics Site Plan

City Commission
September 23, 2013



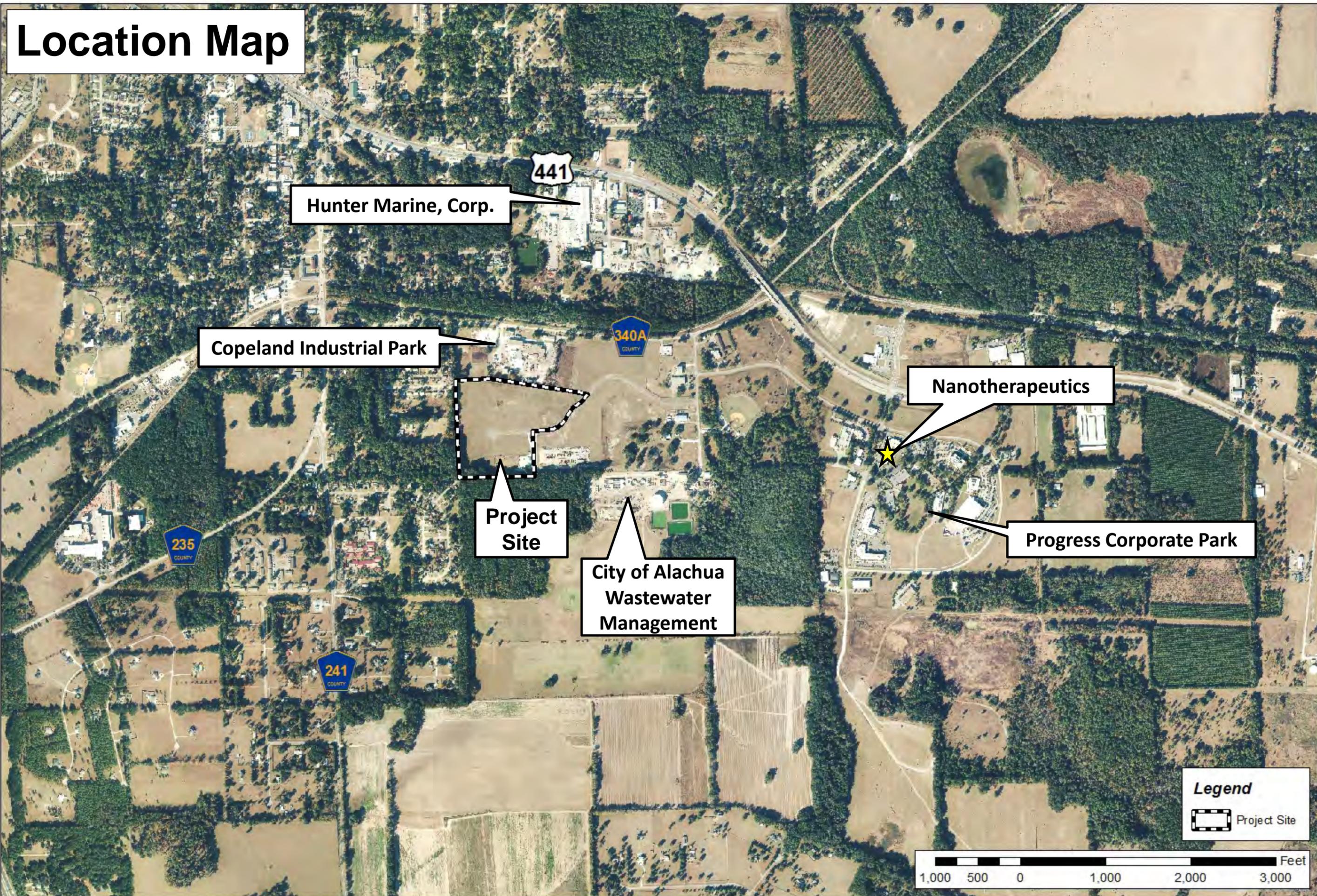
Nanotherapeutics, Inc.



- **Nanotherapeutics is a privately-held biopharmaceutical company.**
- **They have been located in the City of Alachua for 14 years.**
- **The company's recent focus has been on meeting the U.S. Government's interests to develop safe, effective medical countermeasures to protect America's troops.**
- **Nanotherapeutics was awarded a contract from the U.S. Department of Defense.**



Location Map



Hunter Marine, Corp.

Copeland Industrial Park

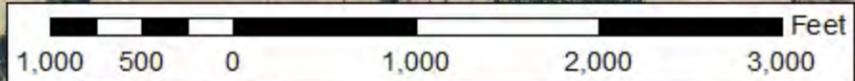
Project Site

City of Alachua
Wastewater
Management

Nanotherapeutics

Progress Corporate Park

Legend
Project Site

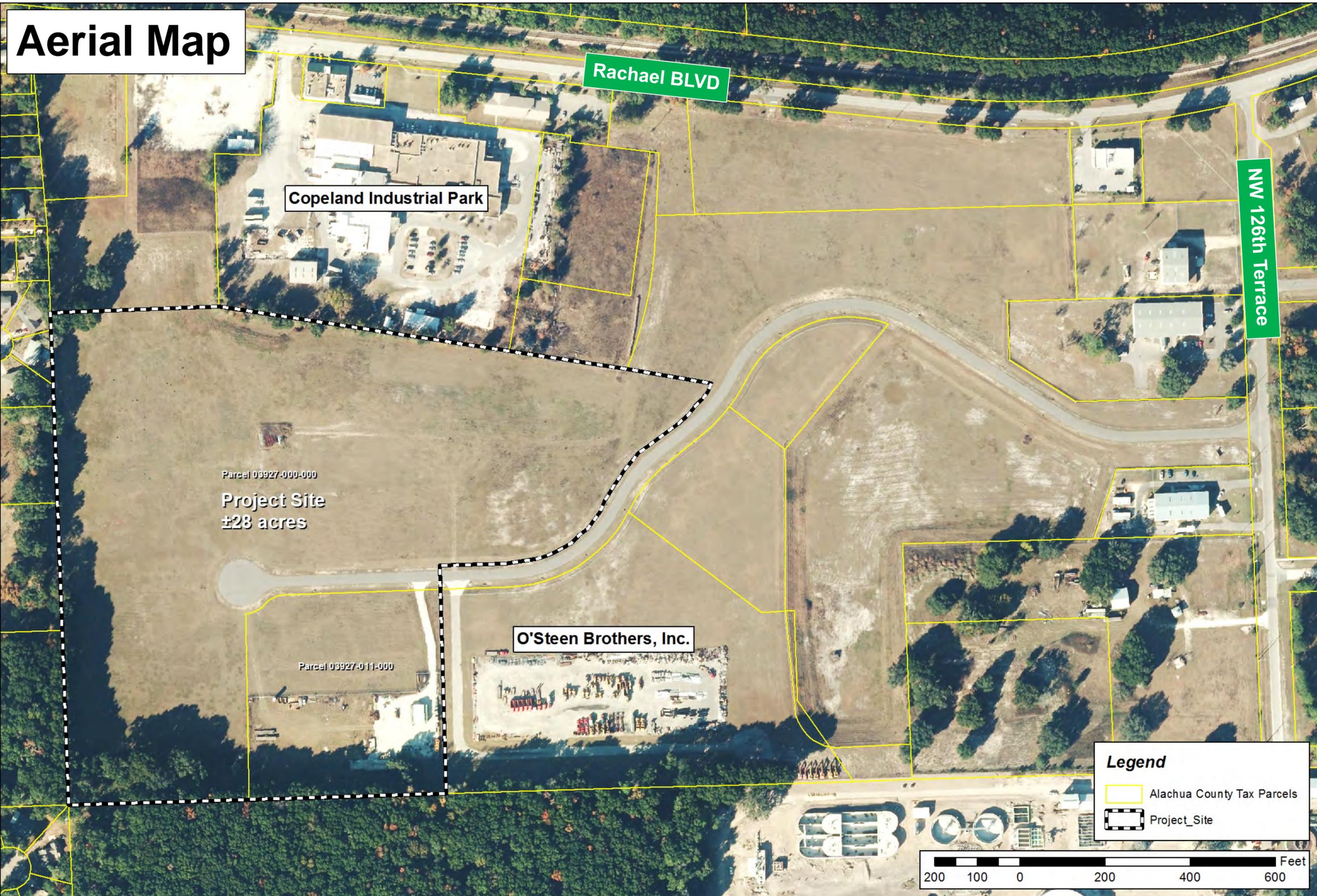


Prepared by: Engineering
Project No. 1045 - Starshine
From a North 1110, 000, Feet
Prepared: Leonard Consultant, Inc.
Date: 10/10/10
Drawing No. 1045-0000
Drawing Title: 1045-0000
Drawing Date: 10/10/10
Drawing Scale: 1:10000

Causseaux, Hewett, & Walpole, Inc.
Engineering - Surveying - Planning - CEI
132 NW 76th Drive, Gainesville, FL 32607
Phone: (352) 331-1976 Fax: (352) 331-2476
<http://www.chw-inc.com>



Aerial Map



Copeland Industrial Park

Rachael BLVD

NW 126th Terrace

Parcel 03927-000-000
Project Site
±28 acres

Parcel 03927-011-000

O'Steen Brothers, Inc.

Legend

- Alachua County Tax Parcels
- Project_Site

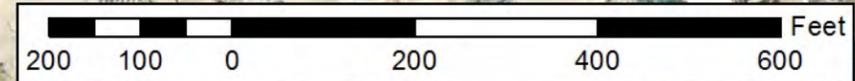


ILLUSTRATION 1B:
AERIAL MAP

Site Plan
Pre-application Meeting



Prepared by: EMB/MSW/200
Project: NAD 1983 State Plane
Florida, North, FIPS 0002, Feet
Projection: Lambert Conformal Conic
Zone 18N
Datum: NAD 83
Spheroid: GRS 80
Spheroid Parameters: 6378137, 29.825625
Standard Parallel 1: 29.825625
Standard Parallel 2: 29.750000
Central Meridian: -81.000000
False Easting: 500000
False Northing: 0.000000
Units: Meter
GCS: North_America_1983
Date: April 23, 2010

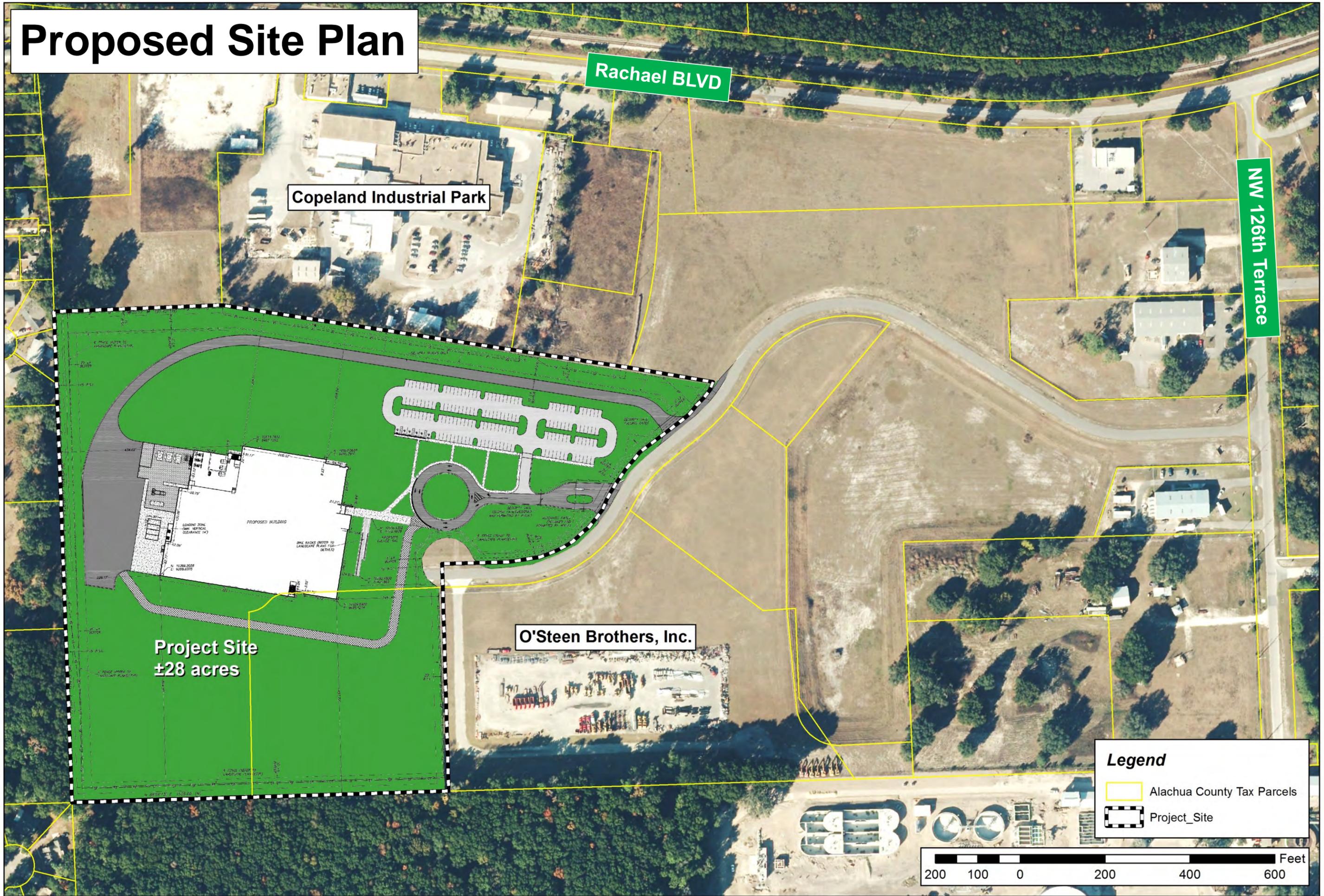
Causseaux, Hewett, & Walpole, Inc.
Engineering • Surveying • Planning • CEI
132 NW 76th Drive, Gainesville, FL 32607
Phone: (352) 331-1976 Fax: (352) 331-2476
<http://www.chw-inc.com>



PH: C:\GIS\ASST\10301\0317\0317015\X031718.mxd

Proposed Site Plan

ILLUSTRATION 1C:
SITE MAP



Site Plan
Pre-application Meeting



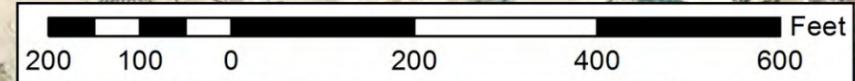
Prepared by: Employees 350
 Projection: NAD 1983 StatePlane
 Florida, North, FIPS_0803_Feet
 Projection: Lambert Conformal, Conic
 False Easting: 1000000.00
 False Northing: 0.000000
 Central Meridian: -84.500000
 Standard Parallel 1: 29.683333
 Standard Parallel 2: 0.000000
 GCS: North American_1983
 Date: April 23, 2013

Causseaux, Hewett, & Walpole, Inc.
 Engineering • Surveying • Planning • CEI
 132 NW 76th Drive, Gainesville, FL 32607
 Phone: (352) 331-1976 Fax: (352) 331-2476
<http://www.chw-inc.com>



Legend

- Alachua County Tax Parcels
- Project_Site



Project Details



- **Initial development will be a $\pm 165,000$ sq. ft. building**
- **Expansion plans up to $\pm 265,000$ sq. ft.**
- **The new facility will create approximately 150 jobs with an average annual salary of \$90,000**



DUAL ENTERPRISES, LLC
TAX PARCEL 03231-004-000
(O.R.B. 2340, PAGE 1962)

6' Fence

Truck / Delivery
Entrance

165 Spaces

Building
Footprint

Security
Gates

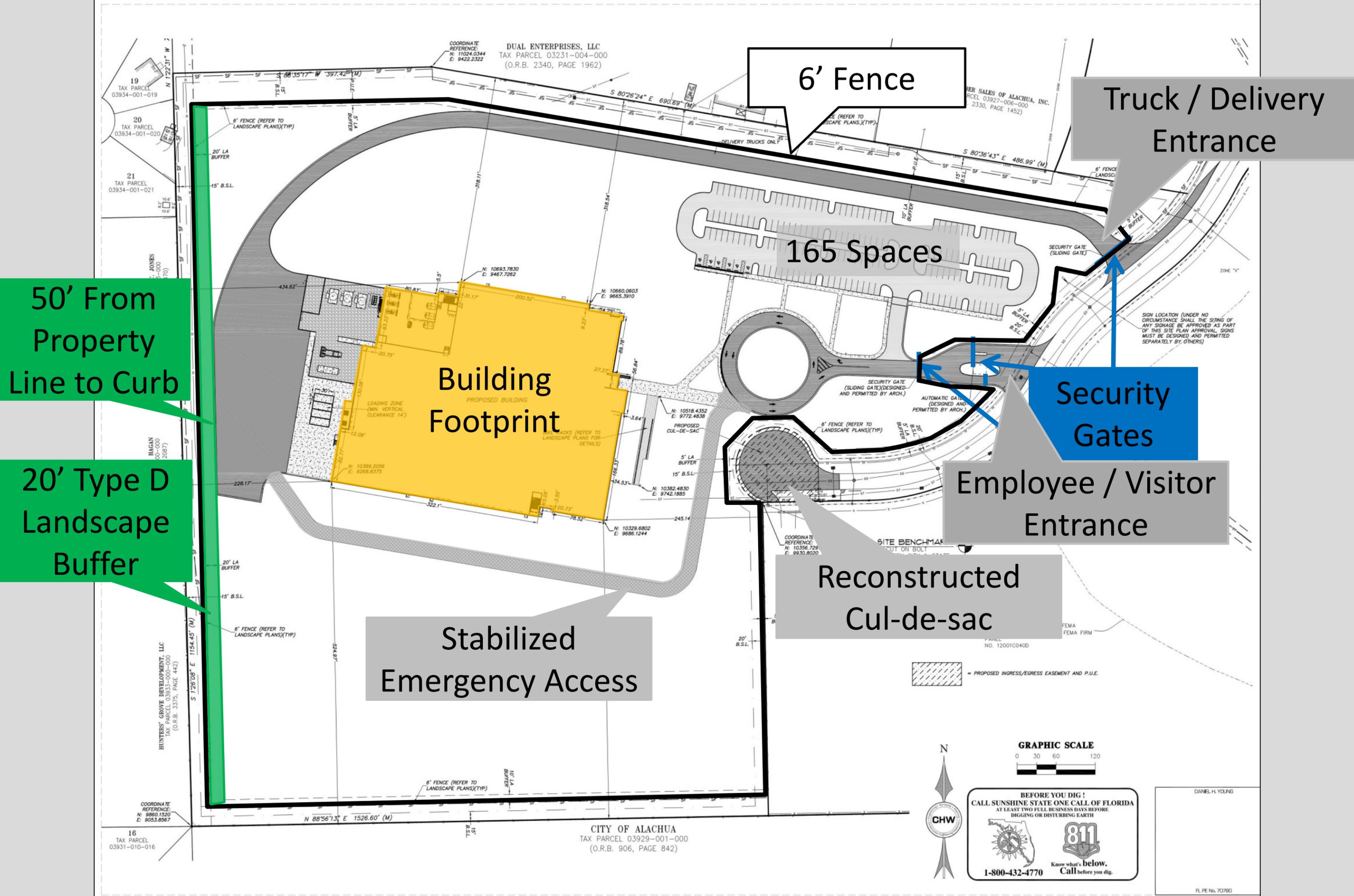
Employee / Visitor
Entrance

Reconstructed
Cul-de-sac

Stabilized
Emergency Access

50' From
Property
Line to Curb

20' Type D
Landscape
Buffer



GRAPHIC SCALE



BEFORE YOU DIG!
CALL SUNSHINE STATE ONE CALL OF FLORIDA
AT LEAST TWO FULL BUSINESS DAYS BEFORE
DIGGING OR DISTURBING EARTH

811
Know what's below.
Call before you dig.

1-800-432-4770

DANIEL H. YOUNG



6' Fence

682 Trees will be planted on-site

Existing Trees to Remain











Nanotherapeutics Site Plan

City Commission
September 23, 2013





City Commission

Site Plan

Nanotherapeutics, Inc.
Advanced Development & Manufacturing Facility

Quasi-Judicial Hearing

September 23, 2013

Overview



- ▶ Request by Causseaux, Hewett, & Walpole, Inc., agent for Nanotherapeutics, Inc., applicant, and ADC Development & Investment Group, LLC and Spear Copeland, LLC, property owners
- ▶ Site Plan: proposed ±165,000 square foot building with associated drainage, paving, grading, and utility infrastructure improvements
- ▶ Property is located in Copeland Industrial Park, west of NW 126th Terrace and south of County Road 2054 (Peggy Road)

Overview



- ▶ Section 2.4.9(D) of the City's Land Development Regulations (LDRs) establishes the review procedures for site plans
- ▶ Section 2.4.9(D)(3) states that a site plan application for a building greater than or equal to 80,000 square feet in area requires review and action by the City Commission
- ▶ For such site plan applications, the Planning & Zoning Board (PZB) provides a recommendation to the City Commission
- ▶ The application and the PZB's recommendation is forwarded to the City Commission for review and action



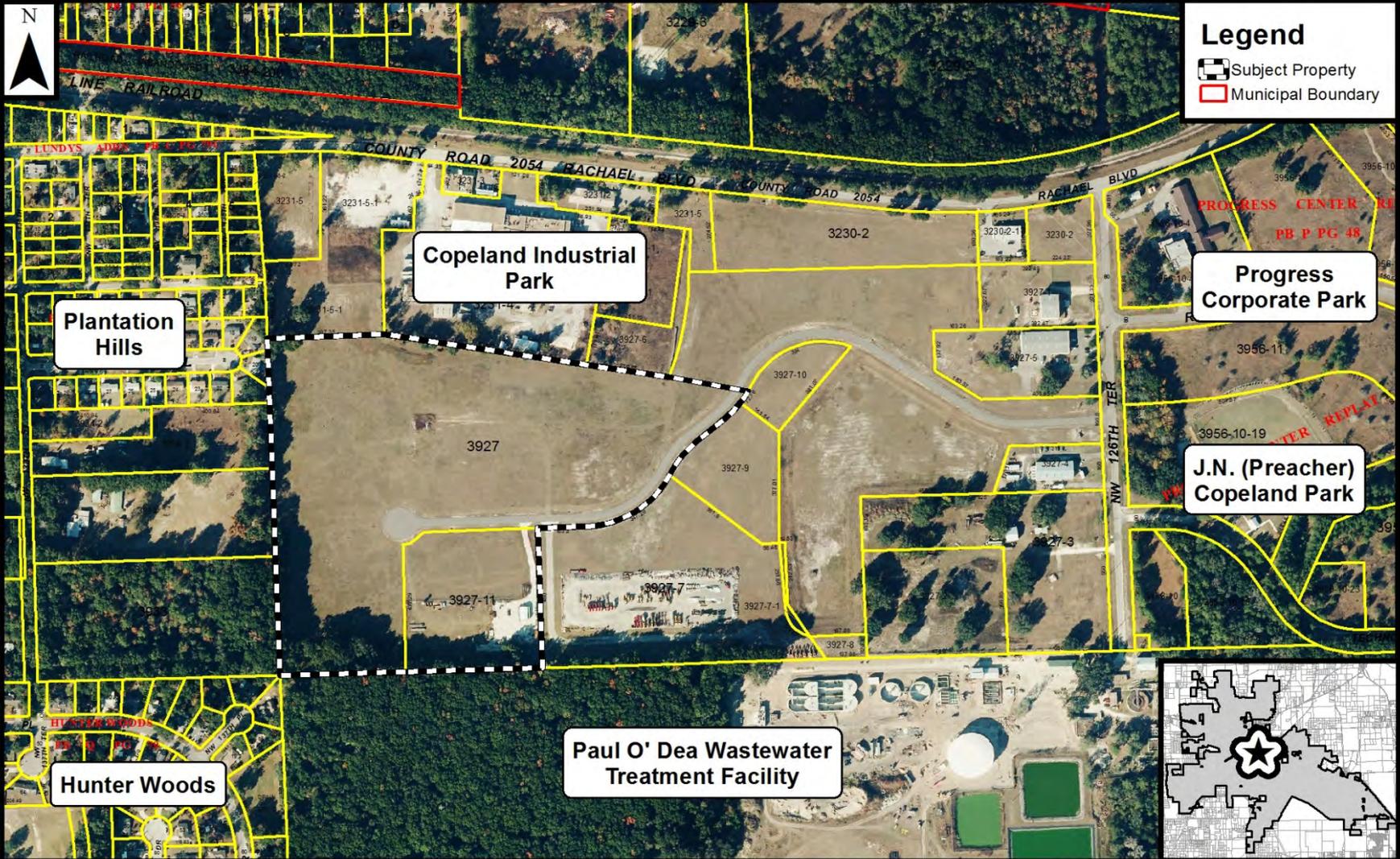
Nanotherapeutics Advanced Development & Manufacturing Facility

Site Plan Vicinity Map



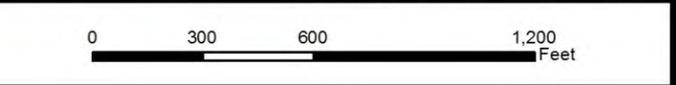
Legend

- Subject Property
- Municipal Boundary



Prepared by the City of Alachua
 Planning & Community Development Department
 Prepared July 8, 2013

DISCLAIMER: Data is provided "as is" without warranty of any representation of accuracy, timeliness, or completeness. The burden of determining accuracy, timeliness, or completeness for use rests solely on the requestor. The City makes no warranties, expressed or implied, as to the use of the data. The requestor acknowledges and accepts the limitations of the data, including the fact that the data is dynamic and in a constant state of maintenance, correction, and update.

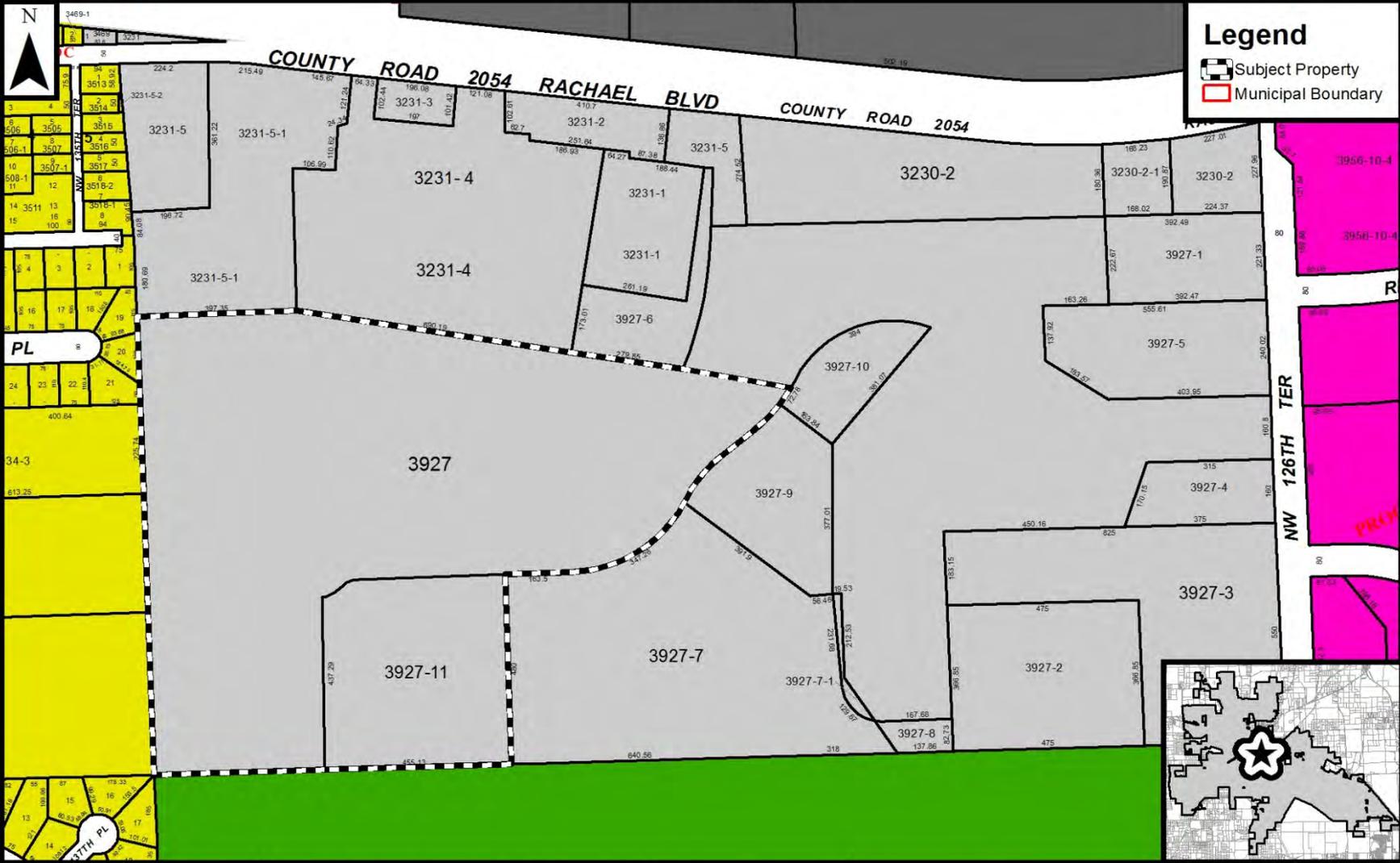




Nanotherapeutics Advanced Development & Manufacturing Facility

Site Plan

Official Zoning Atlas

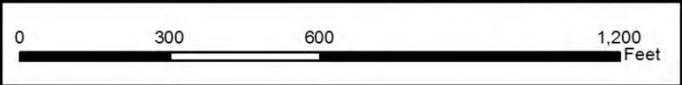


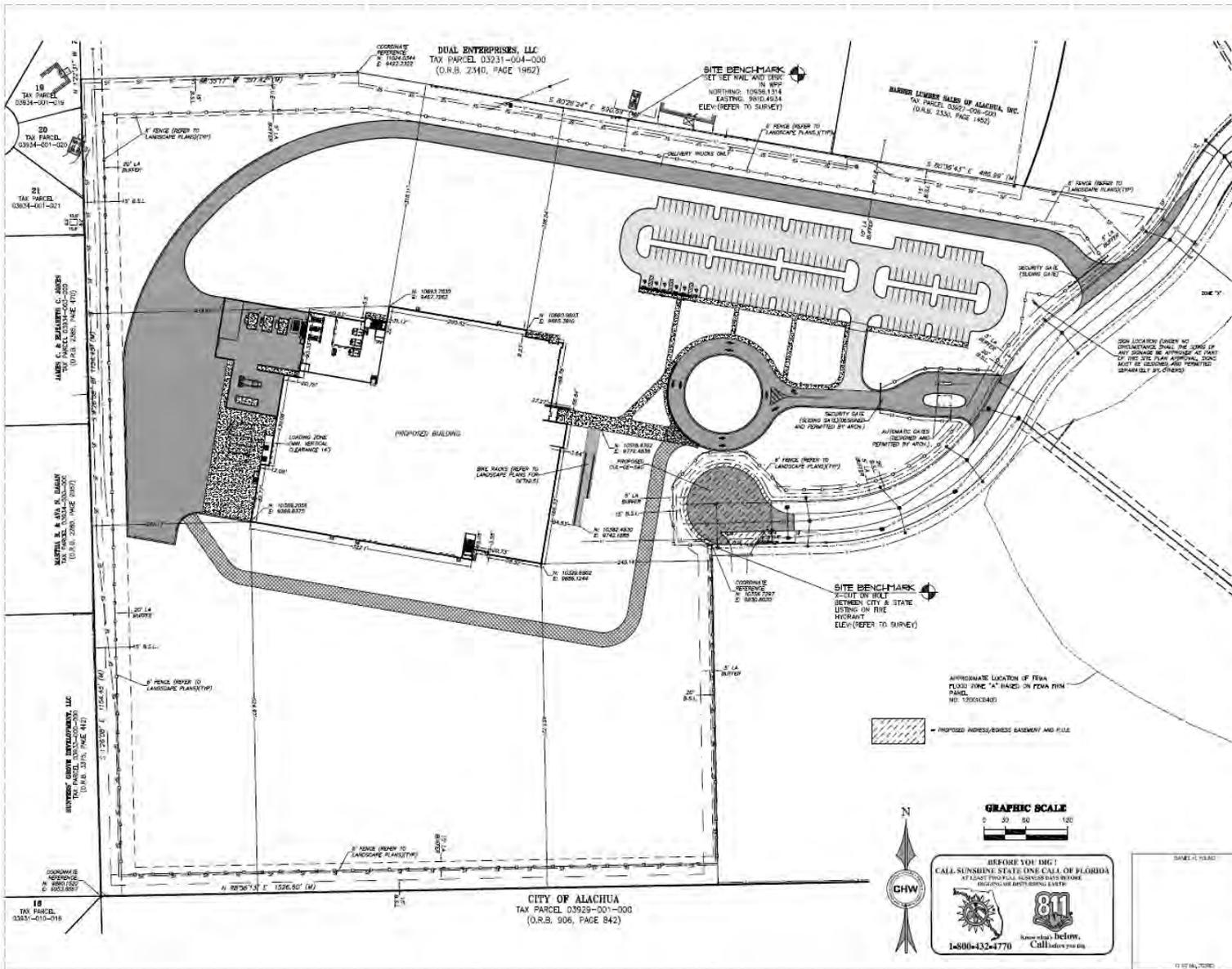
Legend

-  Subject Property
-  Municipal Boundary

Prepared by the City of Alachua
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PROJECT TITLE
MEDICAL COUNTERMEASURES ADVANCED DEVELOPMENT & MANUFACTURING (MCM ADM) FACILITY

ALACHUA, FLORIDA
RSH
IMPROVING YOUR WORLD
 Reynolds, Smith and Hills, Inc.
 7545 Overlook Park Business Center
 Suite 400, Alachua, Florida 32009-0007
 P.O. Box 2000, Tallahassee, FL 32302-2000
 www.rsh.com
 FL Civil No. ACC0001867 | REG00000000
 830303040 | LIC0000010 | C-0000

ips
Integrated Project Services
 2001 Jackson Road
 Lakeland, FL 33809-1144
 P.O. Box 1000
 Tallahassee, FL 32302-1000
 www.ips.com
 FL Professional Engineers and Architects, P.C.

A/E I Affiliated Engineers



REVISIONS

NO.	DESCRIPTION	DATE

DATE ISSUED: 15 August, 2013
ISSUED BY: CHW, INC.
REVIEWED BY: DHY
DRAWN BY: TFC
DESIGNED BY: DHY

CONTRACT NO.
W911QY-13-C-0010
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SHEET TITLE
MASTER SITE PLAN

SHEET NUMBER
C1.00

FINAL SITE SUBMITTAL

PROPRIETARY / FOR OFFICIAL USE ONLY



BEFORE YOU DIG!
 CALL SUNSHINE STATE ONE CALL OF FLORIDA
 AT LEAST 72 HOURS BEFORE ANY EXCAVATION
 (REGULATED BY STATE BOARD OF WATER)

 1-800-432-4770
 Know what's Below. Call before you dig.

DATE PLOTTED:

Neighborhood Meeting



- Held on June 20, 2013 at the Alachua Branch of the Alachua County Library District
 - Property owners within 400 feet & registered persons/ organizations notified
 - Public notice in a newspaper of general circulation
 - Materials submitted by the applicant indicate that twelve (12) persons attended the meeting
 - A summary of the discussion which occurred at the Neighborhood Meeting has been provided by the applicant and is included within the application materials

Compliance with LDR Standards



- ▶ Subsection 2.4.9(E) states that a Site Plan shall only be approved upon a finding that the following standards are met:
 1. Consistency with the Comprehensive Plan
 2. Use Allowed in Zone District
 3. Zone District Use-Specific Standards
 4. Development and Design Standards
 5. Subdivision Standards
 6. Complies with All Other Relevant Laws and Ordinances

1. Consistency with the Comprehensive Plan



- ▶ The application has been reviewed for consistency with the City's Comprehensive Plan
- ▶ Specific Goals, Objectives, & Policies that support the application are located in the following Elements:
 - *Vision*
 - *Future Land Use*
 - *Transportation*
 - *Community Facilities and Natural Groundwater Aquifer Recharge*
 - *Conservation & Open Space*

2. Use Allowed in Zone District



- ▶ *Zoning: Light and Warehouse Industrial (ILW)*
- ▶ Table 4.1-1 identifies “Light Manufacturing” as a permitted use within the ILW zoning district

3. Zone District Use-Specific Standards



- ▶ Section 4.3.4 establishes use-specific standards which are applicable to various use types
- ▶ There are no use-specific standards applicable to the “Light Manufacturing” use type

4. Development and Design Standards



- ▶ The application has been reviewed for and is found to be in compliance with the relevant provisions of Article 6, *Development Standards*, including but not limited to:
 - *Section 6.1*, Off-Street Parking & Loading Standards
 - *Section 6.2*, Tree Protection/Landscape Standards
 - *Section 6.3*, Fencing Standards
 - *Section 6.4*, Exterior Lighting Standards
 - *Section 6.7*, Open Space Standards
 - *Section 6.9*, Environmental Protection Standards

5. Subdivision Standards



- ▶ Subsection 2.4.10(B)(3)(f) exempts industrial development requiring Site Plan review from the subdivision process, provided that the development does not result in the creation, relocation, or extension of any street
- ▶ This Site Plan proposes to modify an existing street
 - The proposed modification will not result in the relocation or extension of a street, and is therefore exempt from the subdivision process
- ▶ The location and specifications of all utility infrastructure has been shown on the Site Plan

6. Complies with All Other Relevant Laws & Ordinances



- ▶ The application is consistent with all other relevant laws and ordinances

Public Facilities



Facility	Acceptable	Degrades LOS
Transportation	✓	
Potable Water	✓	
Sanitary Sewer	✓	
Solid Waste	✓	
Drainage	✓	
Recreation	N/A	
Public Schools	N/A	

Planning & Zoning Board Recommendation



- ▶ On September 10, 2013, the Planning & Zoning Board (PZB) voted 3-0 to transmit the Site Plan to the City Commission with a recommendation to approve, subject to the seven (7) conditions provided in Exhibit “A” of the Staff Report to the Planning & Zoning Board, dated September 10, 2013.

Staff Recommendation



Staff recommends that the City Commission approve the Site Plan, subject to the seven (7) conditions provided in Exhibit “A” of the Staff Report dated September 10, 2013.

Staff Recommendation



1. The applicant shall prepare easement documents for all existing unrecorded public utilities easements and for all proposed public utilities easements. Such easement documents shall include a legal description of each easement area and a boundary sketch of each described easement. Easement documents shall be provided to the City for review and approval by the City Commission. Following City Commission approval, all public utilities easements shown on the Site Plan shall be recorded in the Public Records of Alachua County, Florida, and shall be recorded prior to the issuance of a Certificate of Occupancy (“CO”) for the building.

Staff Recommendation



2. The applicant shall prepare a document to release the portion of the ingress/egress easement, as recorded in Official Records Book 3416, Page 742 of the Public Records of Alachua County, Florida, located within the subject property. Such document shall include a legal description of the area which shall be released and a boundary sketch of the area. The document shall be provided to the City for review and approval by the City Commission. Following City Commission approval, the partial release of the aforementioned ingress/egress easement shall be recorded in the Public Records of Alachua County, Florida, and shall be recorded prior to the issuance of a Certificate of Occupancy (“CO”) for the building.

Staff Recommendation



3. The applicant shall prepare an easement document for an ingress/egress easement and public utilities easement for the area consisting of the proposed cul-de-sac, located adjacent to the east property line of the subject property. Such easement document shall include a legal description of the easement area and a boundary sketch of the described easement. The easement document shall be provided to the City for review and approval by the City Commission. Following City Commission approval, the ingress/egress easement and public utilities easement shall be recorded in the Public Records of Alachua County, Florida, and shall be recorded prior to the issuance of a Certificate of Occupancy (“CO”) for the building.

Staff Recommendation



4. The applicant shall coordinate with the Alachua County E911 office to assign a street name to the roadway located within the sixty-foot (60') ingress/egress and public utilities easement which provides access to the subject property. The applicant shall provide documentation to the City which evidences that a street name has been assigned to the roadway by the Alachua County E911 office prior to the issuance of a Certificate of Occupancy ("CO") for the building.
5. The applicant shall comply with all recommendations provided by Mike New, P.E., Public Services Director, in a memorandum dated July 23, 2013, and shall provide written confirmation from the Public Services Director that such recommendations have been met.

Staff Recommendation



6. The applicant shall obtain all other applicable state and federal permits before the commencement of the development.
7. A building permit shall not be issued until the applicant has complied with conditions 5 through 6 above, and a Certificate of Occupancy (“CO”) shall not be issued until the applicant has complied with conditions 1 through 4 above.



Applicant's Comments

Site Plan

Nanotherapeutics, Inc.
Advanced Development & Manufacturing Facility

Quasi-Judicial Hearing

September 23, 2013